

LEGEND

- BOUNDARY
- - - RIGHT-OF-WAY
- - - EXISTING LOT LINE
- - - EXISTING CENTERLINE
- - - EXISTING EASEMENT
- DW - EXISTING DOMESTIC WATER
- SD - EXISTING STORM DRAIN
- S - EXISTING SEWER
- PH - EXISTING PHONE
- CATV - EXISTING CABLE TV
- EOH - EXISTING OVERHEAD ELECTRIC
- E - EXISTING ELECTRIC
- FIRE - EXISTING FIRE WATER LINE
- GAS - EXISTING GAS
- DW - PROPOSED DOMESTIC WATER
- SD - PROPOSED STORM DRAIN
- S - PROPOSED SEWER
- 4" - PROPOSED 4" AREA DRAIN
- 6" - PROPOSED 6" AREA DRAIN
- 8" - PROPOSED 8" AREA DRAIN
- 10" - PROPOSED 10" AREA DRAIN
- 12" - PROPOSED 12" AREA DRAIN
- SD - PROPOSED 4" PERF. SUB DRAIN
- FIRE - PROPOSED FIRE WATER LINE

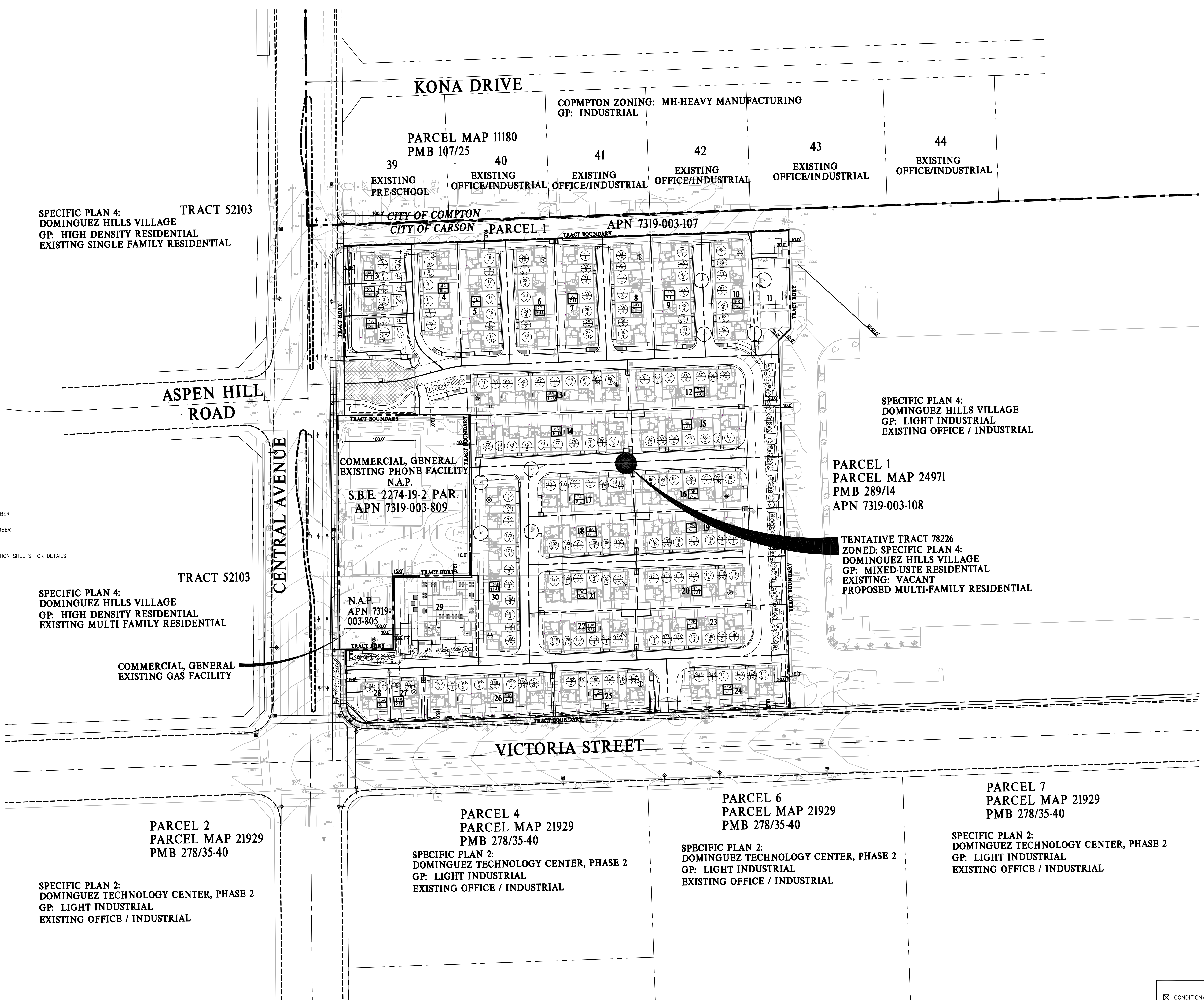
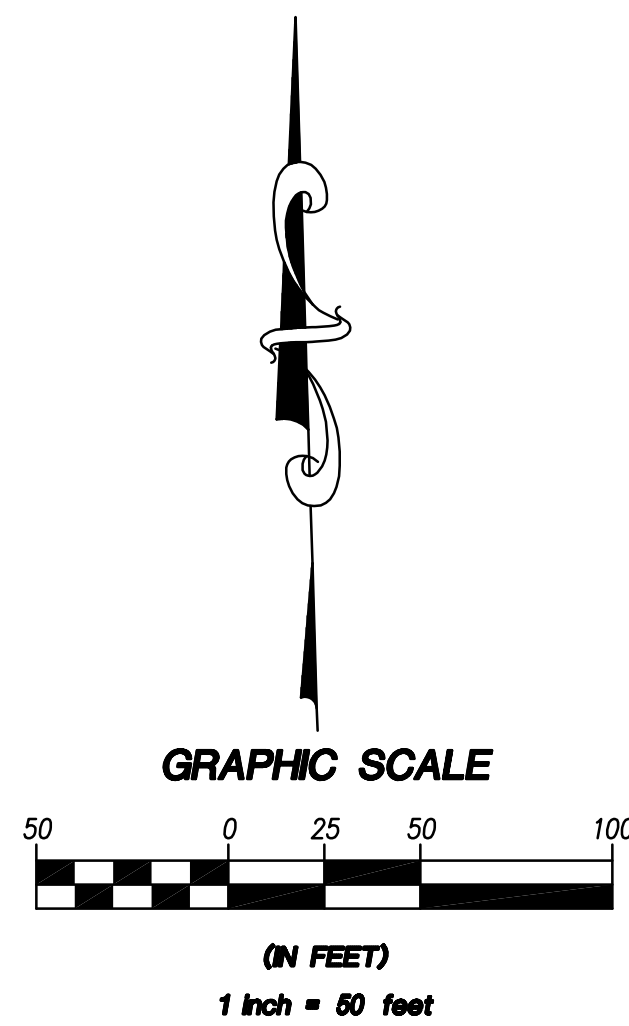
- BI FIRE HYDRANT
- CATCH BASIN
- MANHOLE
- ⊛ EXISTING STREET LIGHT
- ⊙ PROPOSED INFILTRATION DRY WELL
- ⊙ PROPOSED MODULAR WETLAND
- ⊙ PROPOSED AREA DRAIN

- 6 NUMBERED LOT
- G LETTERED LOT
- BA BUILDING TYPE
- 8-U NUMBER OF UNITS
- 46 UNIT NUMBER
- 3 UNIT PLAN TYPE

- FF=159.20 BUILDING FINISHED FLOOR ELEVATION
- P=158.53 BUILDING PAD ELEVATION

- ⊙ ACCESSIBLE UNIT
- ⊙ INTERIOR VISITOR PARKING STALL NUMBER
- ⊙ OFF-SITE STREET PARKING STALL NUMBER

- T T TYPICAL SECTION - SEE TYPICAL SECTION SHEETS FOR DETAILS



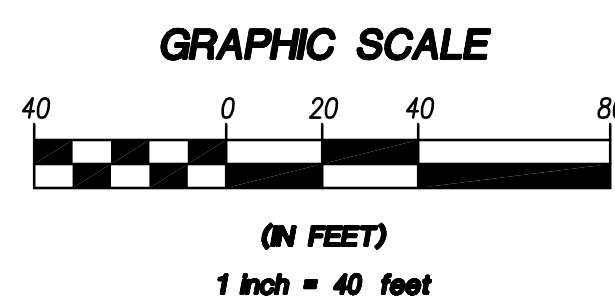
<p>URBAN RESOURCE CONSULTING CIVIL ENGINEERS 23 HAVANE CA 92025 PHONE: 949-727-9095 FAX: 949-727-9098</p>	<p>INTEGRAL COMMUNITIES 888 SAN CLAYMANE SUITE 100 NEWPORT BEACH, CA PHONE: 949-999-5715 FAX: 949-720-3615</p>
<p>VESTING TENTATIVE TRACT MAP NO. 78226 CONDITIONAL USE PERMIT-SITE PLAN SITE UTILIZATION MAP</p>	<p>CITY OF CARSON COMMUNITY DEVELOPMENT DEPARTMENT</p>
<p>PLAN SET: J DATE: 6-12-19</p>	<p>JOB NO. 316.698</p>

CONDITIONAL USE PERMIT
FILE CASE # **CUP 1040-18**

SHEET 1 OF 13

LEGEND

- BOUNDARY
- RIGHT-OF-WAY
- EXISTING LOT LINE
- EXISTING CENTERLINE
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- UNDERGROUND CMP DETENTION SYSTEM. (NO INFILTRATION)
- PROPOSED FILTERA WATER QUALITY TREATMENT
- PROPOSED AREA DRAIN
- 6 NUMBERED LOT
- P=158.53 PAD ELEVATION
- RETAINING WALLS
- BA BUILDING TYPE
- EU NUMBER OF UNITS
- 46 UNIT NUMBER
- 5 UNIT PLAN TYPE
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- OFF-SITE STREET PARKING STALL NUMBER
- T TYPICAL SECTION - SEE TYPICAL SECTION SHEETS FOR DETAILS



SEE SHEET 3 - 5 FOR TYPICAL STREET SECTIONS

FIRE HYDRANT INFO:

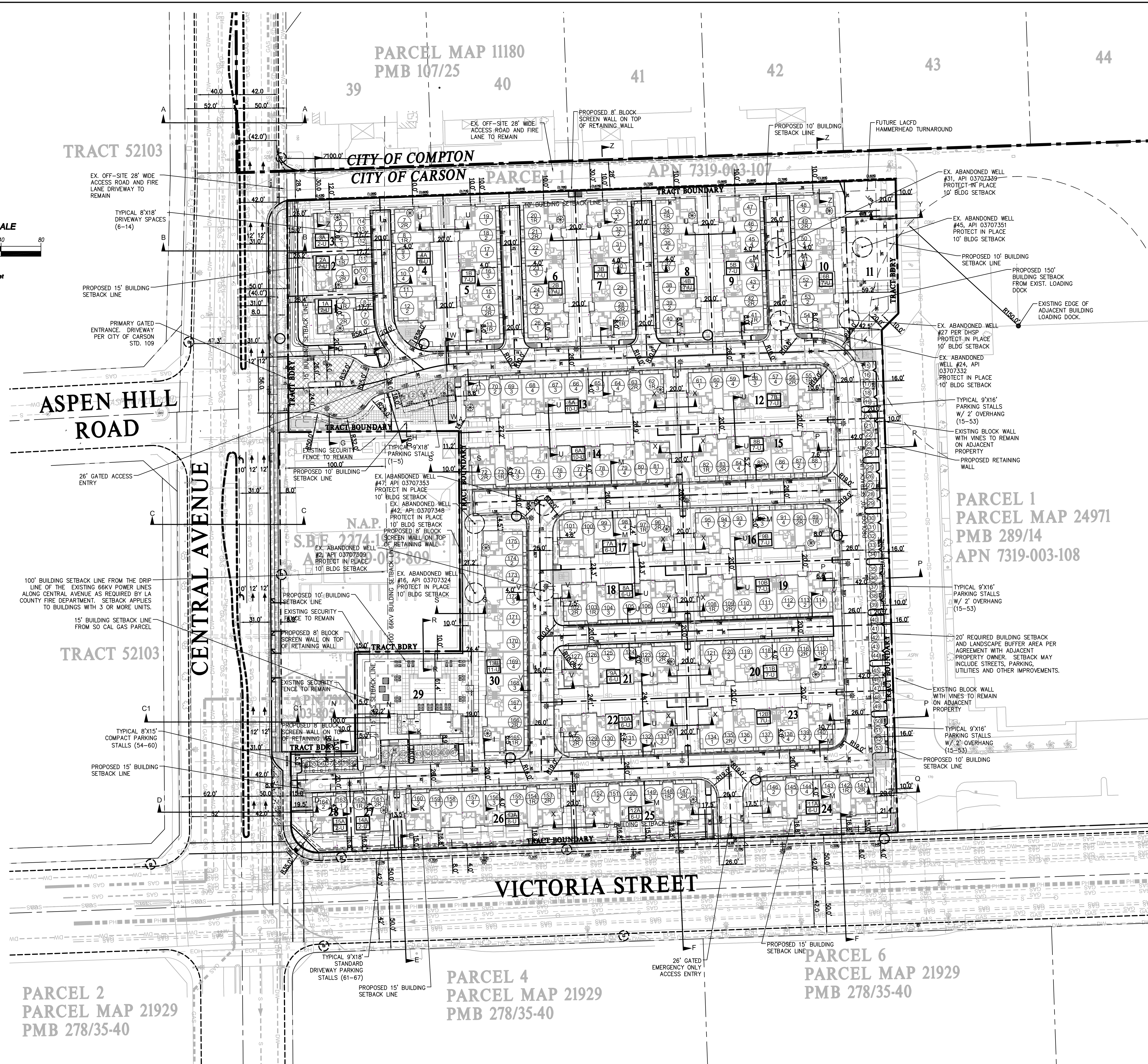
REQUIRED FIRE FLOW FOR THE PROPOSED DEVELOPMENT IS 2,125 GPM AT 20 PSI RESIDUAL PRESSURE FOR THE DURATION OF 2 HOURS. 2 PUBLIC FIRE HYDRANTS FLOWING SIMULTANEOUSLY MAY BE USED TO ACHIEVE THE REQUIRED FIRE FLOW. FIRE CODE 507.3 AND APPENDIX B105.1.

2 NEW PUBLIC FIRE HYDRANTS. (ONE ON VICTORIA STREET AND ONE ON CENTRAL AVENUE) 6"x4"x2-1/2" BRASS OR BRONZE HYDRANT, CONFORMING TO CURRENT AWWA STANDARD C503 OR APPROVED EQUAL. AND SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE CODE. ALL REQUIRED PUBLIC FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND ACCEPTED PRIOR TO BEGINNING CONSTRUCTION. FIRE CODE 501.4.

6 NEW ON-SITE FIRE HYDRANTS. 6"x4"x2-1/2" BRASS OR BRONZE HYDRANT, CONFORMING TO CURRENT AWWA STANDARD C503 OR APPROVED EQUAL. AND SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE CODE. ALL REQUIRED PUBLIC FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND ACCEPTED PRIOR TO BEGINNING CONSTRUCTION. FIRE CODE 501.4.

ALL REQUIRED PRIVATE ON-SITE FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND APPROVED PRIOR TO BUILDING OCCUPANCY. FIRE CODE 901.5.1

PROPOSED PROJECT IS FOR FULLY SPRINKLERED MULTI-FAMILY STRUCTURES AND ON-SITE HYDRANTS ARE INSTALLED A MINIMUM OF 10 FEET FROM THE STRUCTURE.



PARCEL 2
PARCEL MAP 21929
PMB 278/35-40

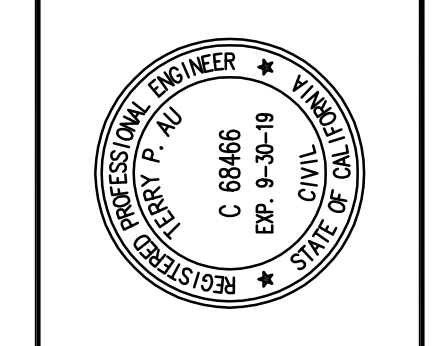
PARCEL 4
PARCEL MAP 21929
PMB 278/35-40

PARCEL 6
PARCEL MAP 21929
PMB 278/35-40

PARCEL 1
PARCEL MAP 24971
PMB 289/14
APN 7319-003-108

 URBAN RESOURCE CONSULTING CIVIL ENGINEERS 23 AVENUE CA 90201 PHONE: 949-999-5715 FAX: 949-727-9098	
INTEGRAL COMMUNITIES 888 SAN GABRIEL SUITE 100 NEWPORT TRACT, CA PHONE: 949-999-5715 FAX: 949-727-9098	CITY OF CARSON COMMUNITY DEVELOPMENT DEPARTMENT
VESTING TENTATIVE TRACT MAP NO. 78226 CONDITIONAL USE PERMIT-SITE PLAN TECHNICAL SITE PLAN	PLAN SET: J DATE: 6-12-19 JOB NO. 316.698
PLAN CONTROL INTEGRAL	
SHEET 2 OF 13	

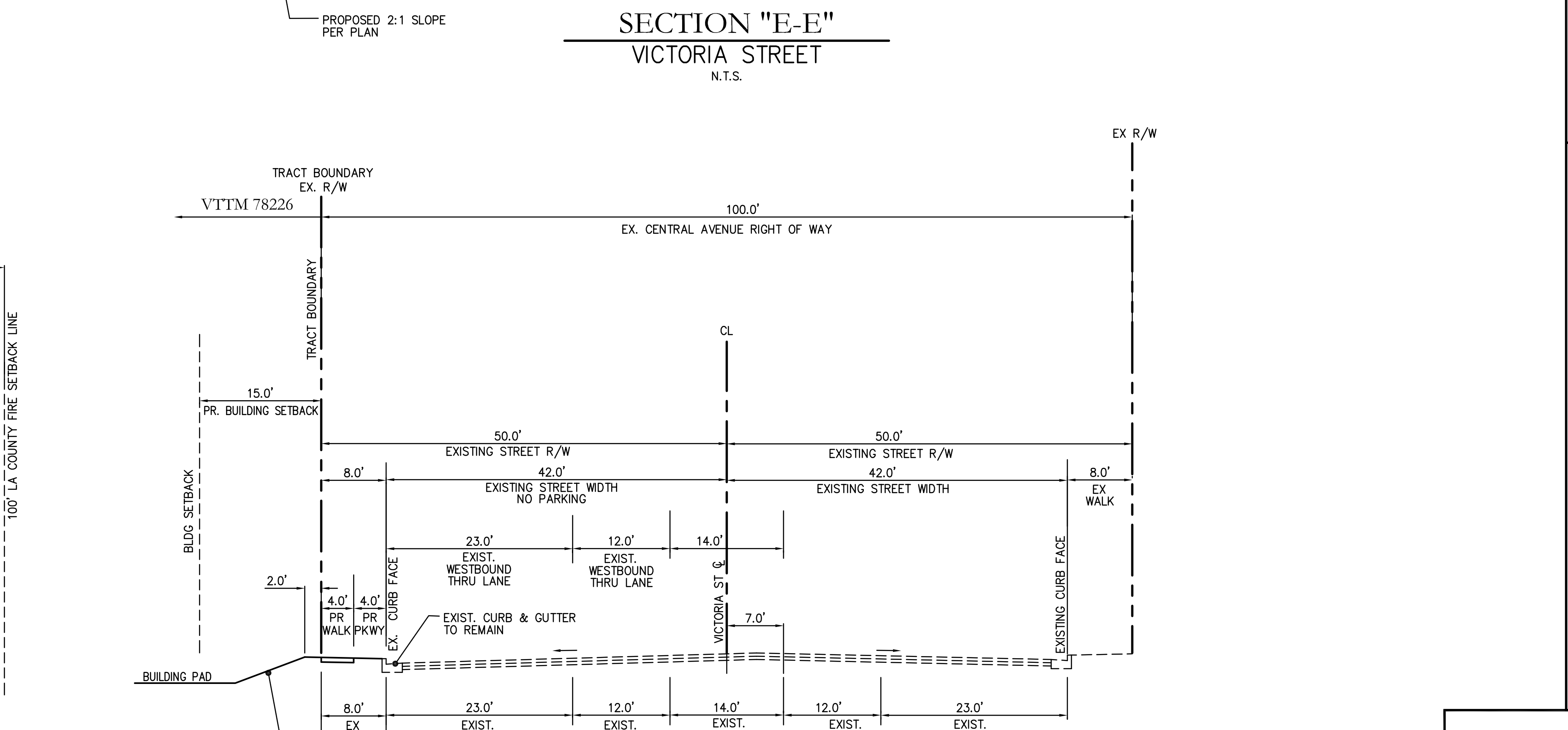
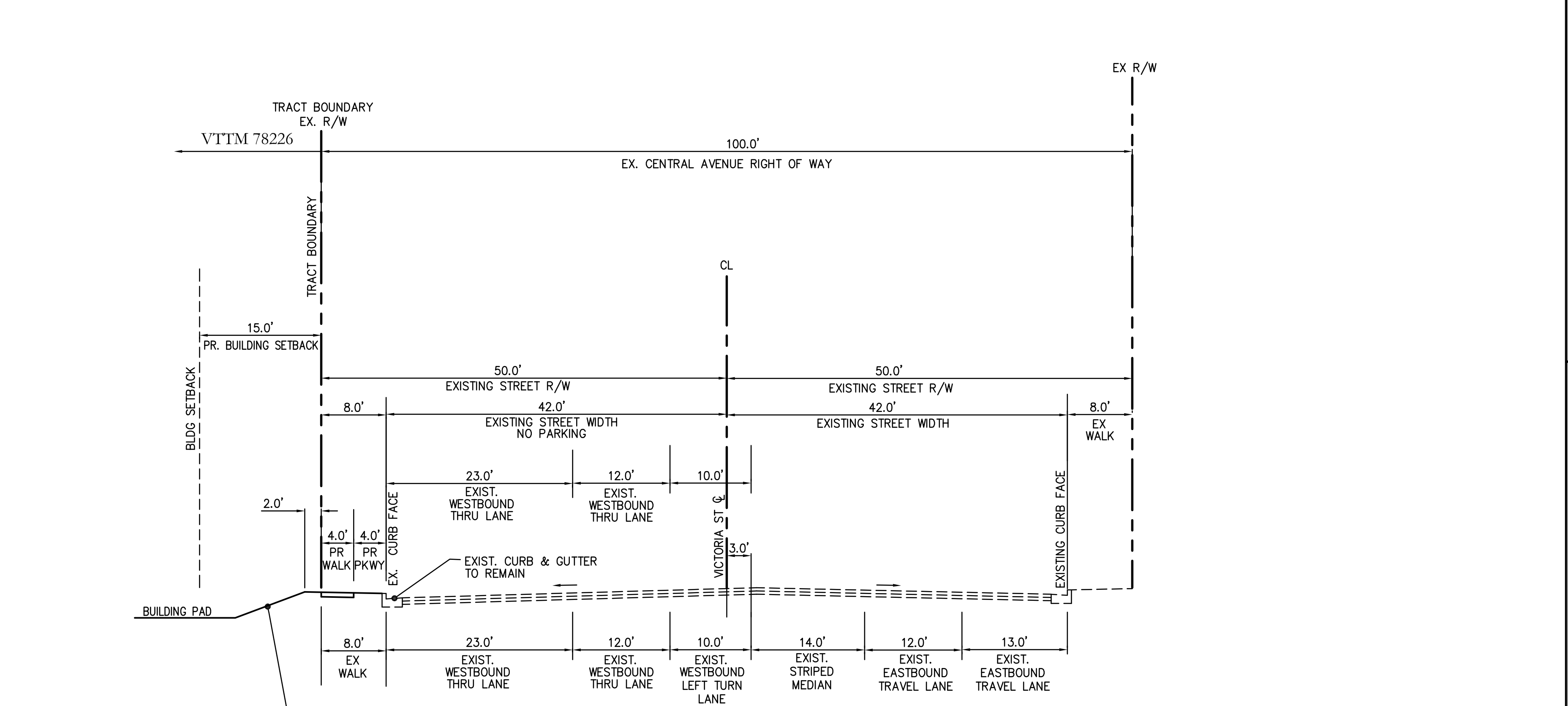
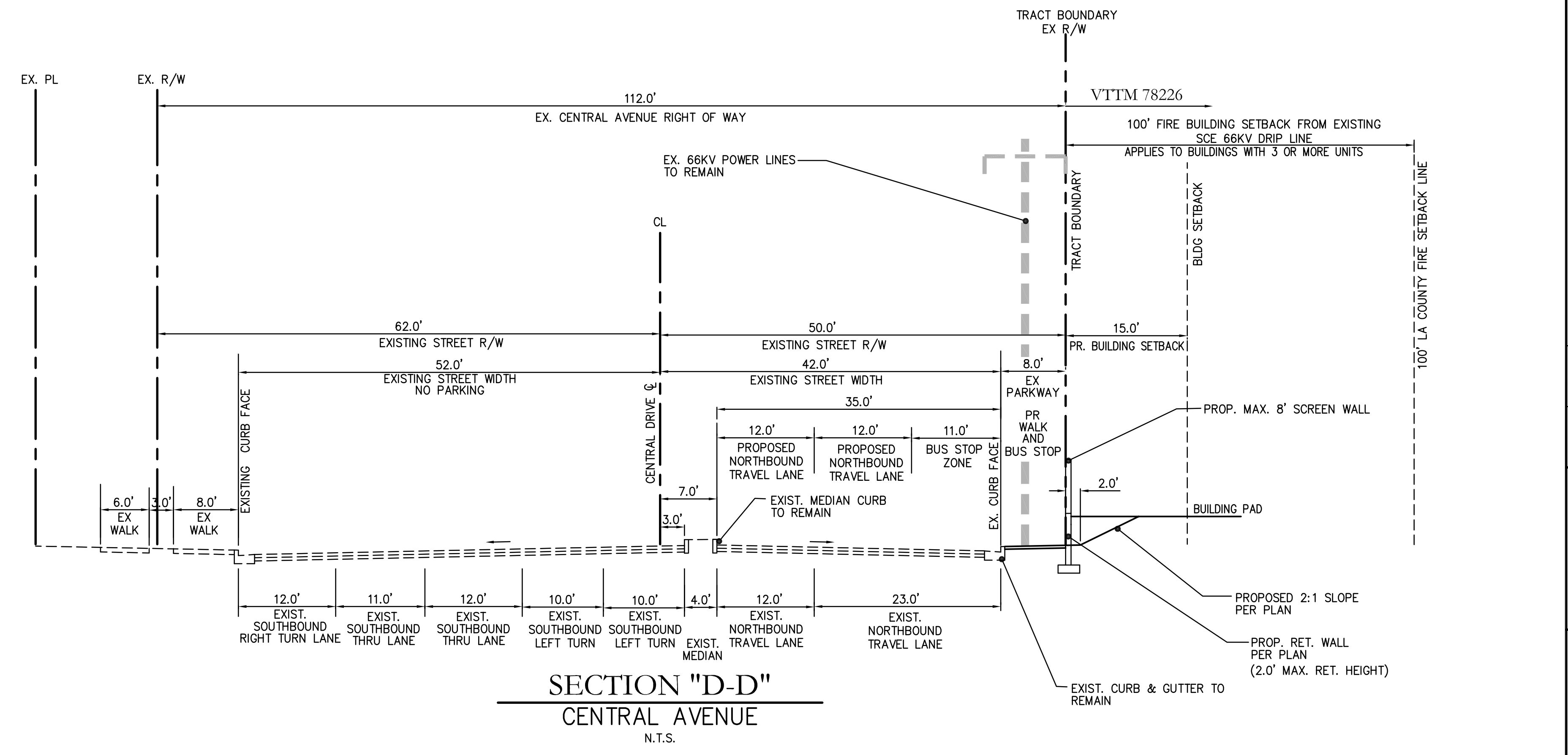
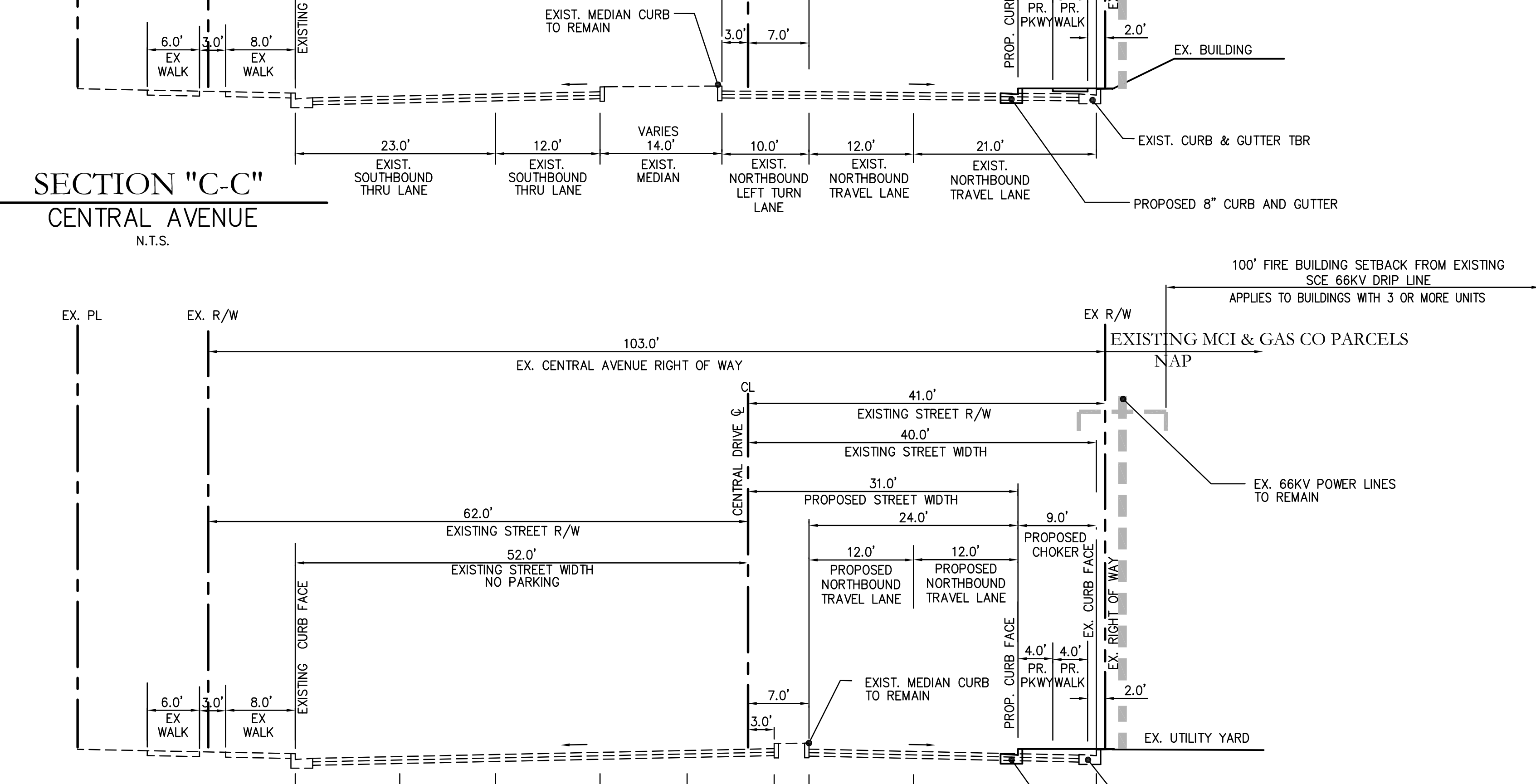
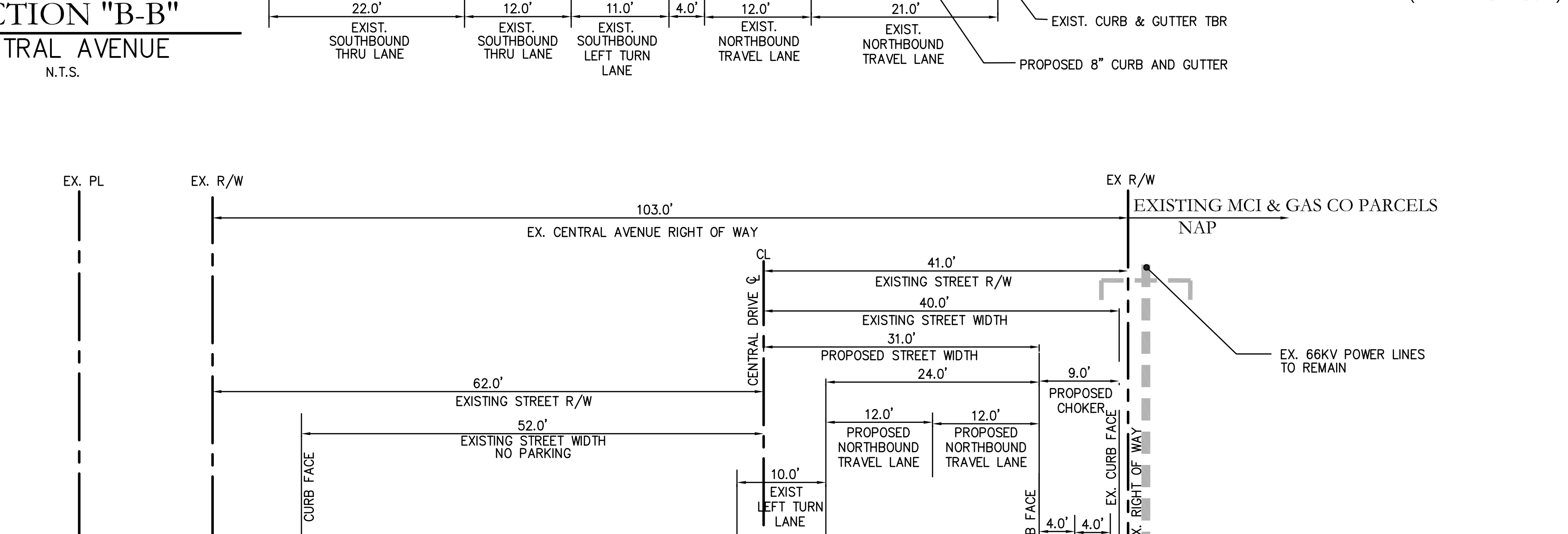
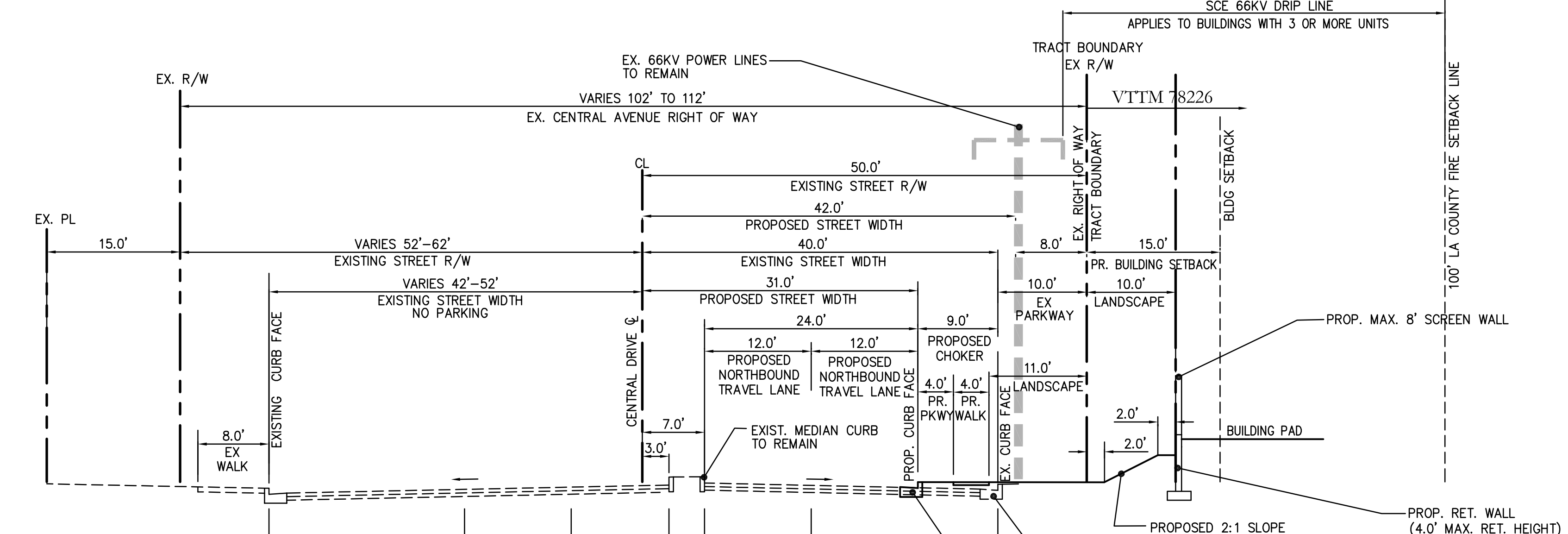
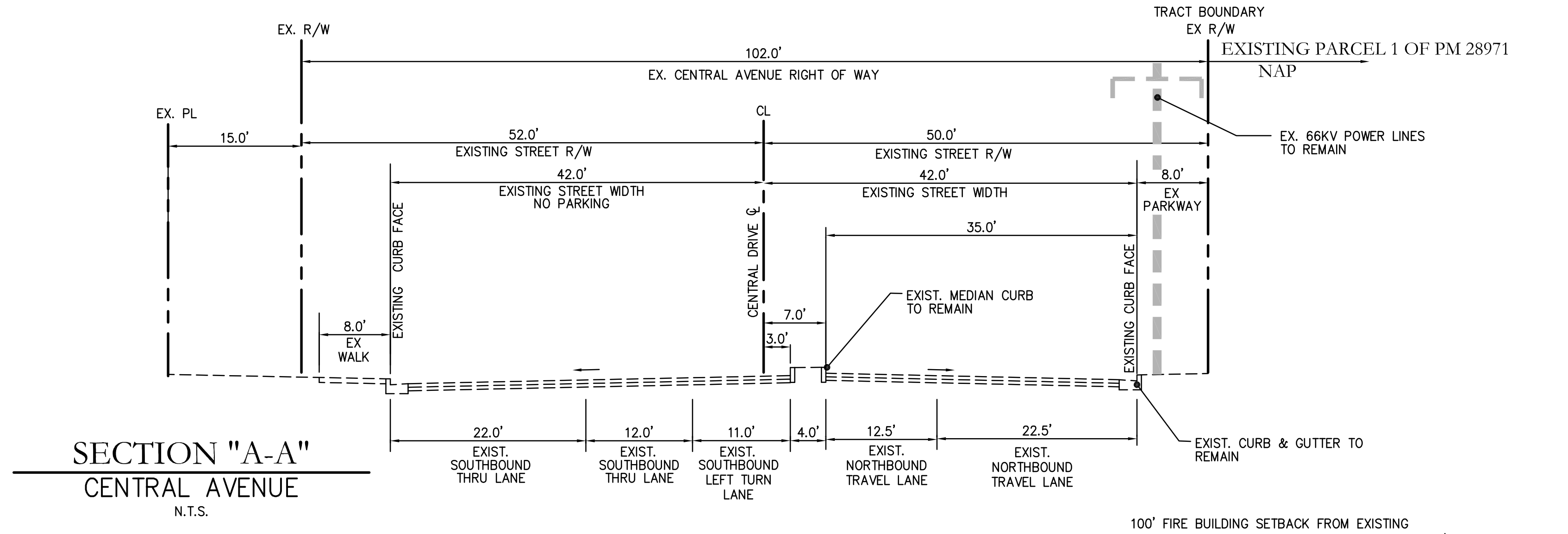
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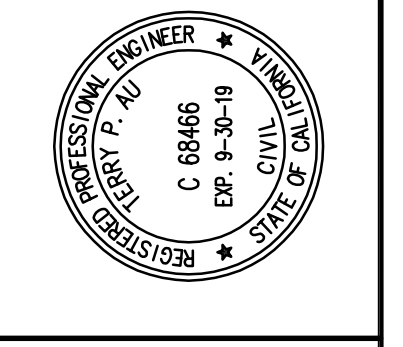
APN 7319-003-107
 CITY OF COMPTON
 CITY OF CARSON
 PARCEL MAP 11180
 PMB 107/25

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 CITY OF COMPTON
 CITY OF CARSON
 PARCEL MAP 11180
 PMB 107/25

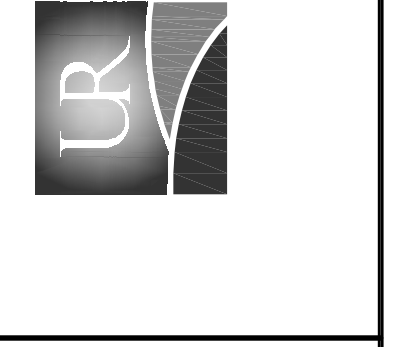
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 CITY OF COMPTON
 CITY OF CARSON
 PARCEL MAP 11180
 PMB 107/25



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 FAX: 949-727-9098

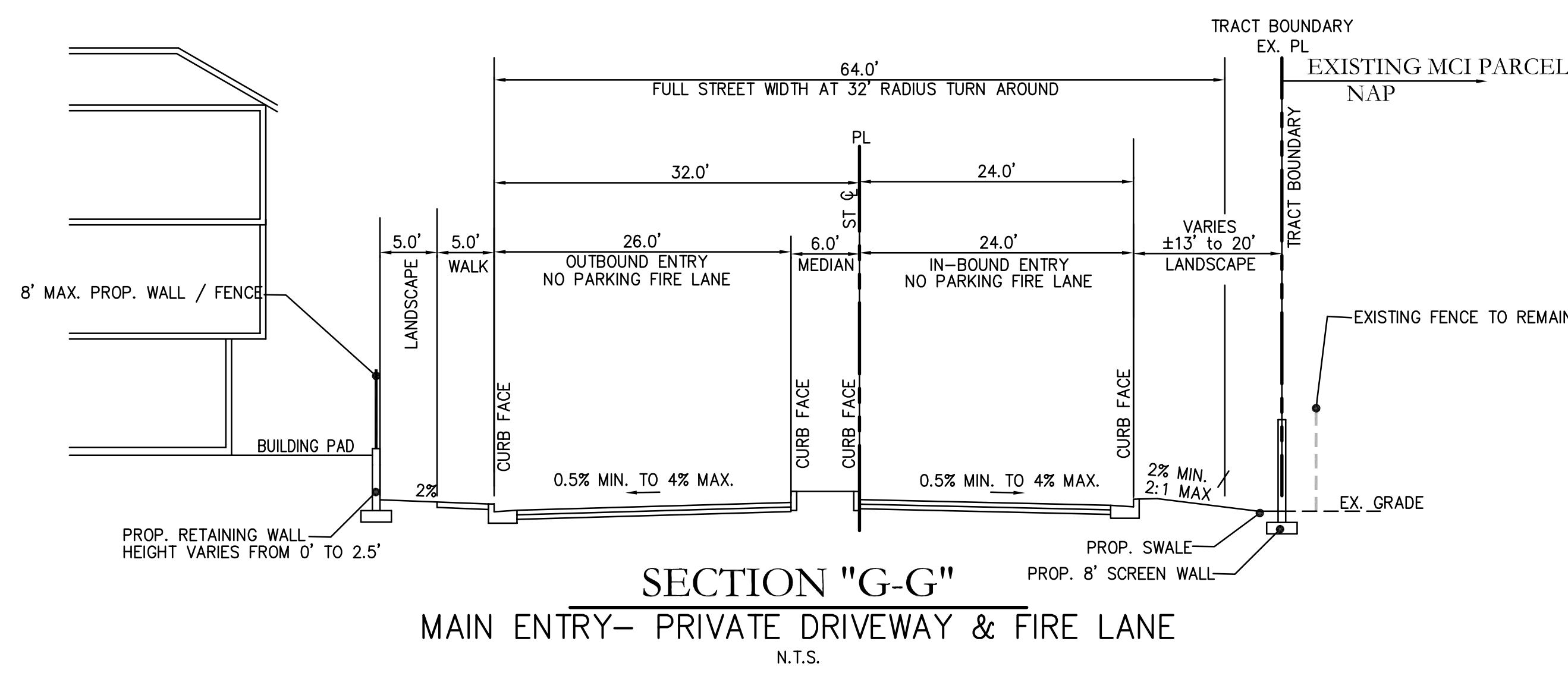


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 888 SAN GABRIEL SUITE 100
 NEWPORT BEACH, CA
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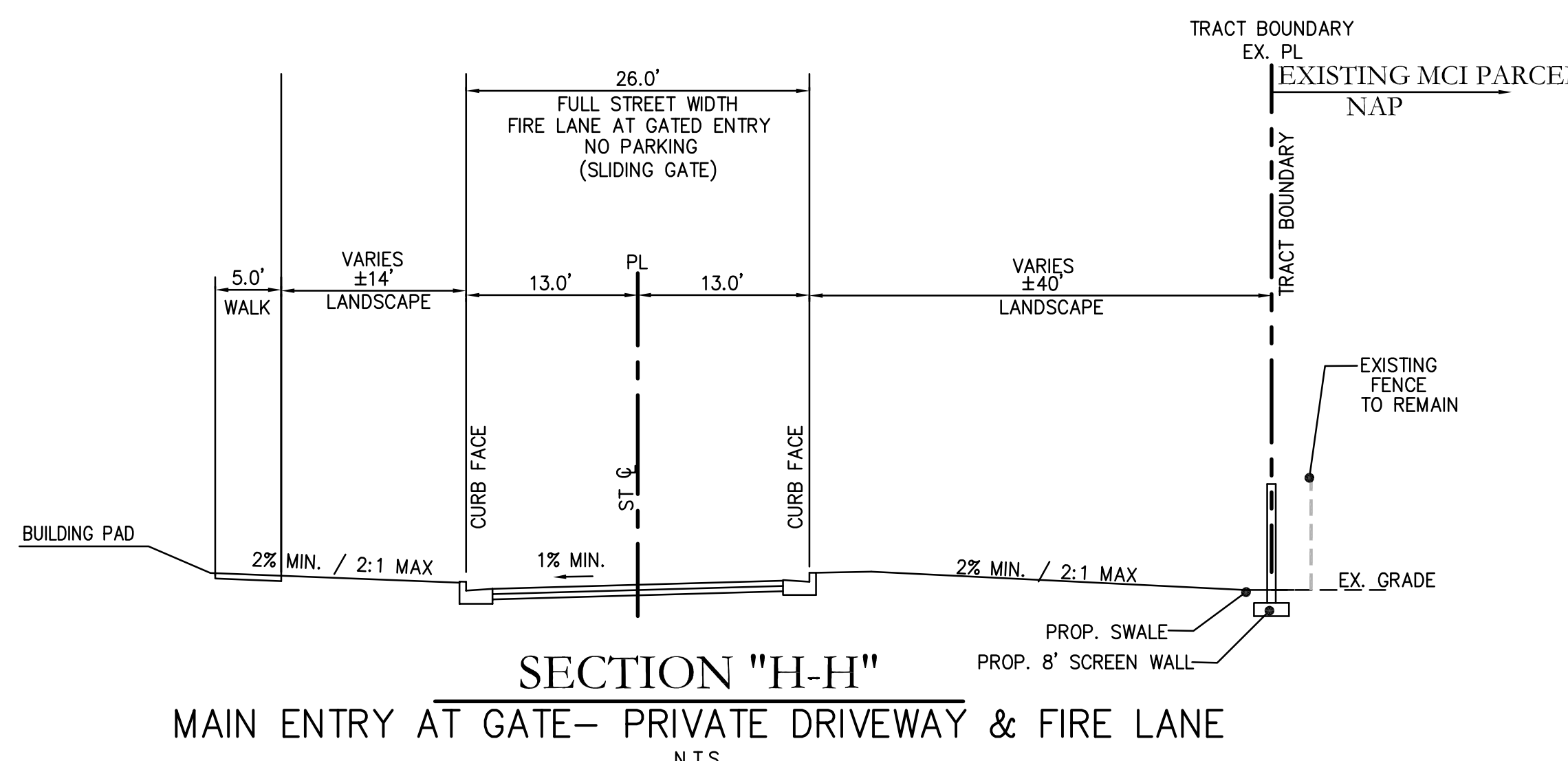
VESTING TENTATIVE TRACT MAP NO. 78226
CONDITIONAL USE PERMIT-SITE PLAN
TYPICAL SECTIONS
CITY OF CARSON
 COMMUNITY DEVELOPMENT DEPARTMENT

PLAN SET: J
 DATE: 6-12-19
 PLAN CONTROL: INTEGRAL
 JOB NO. 316.698
 SHEET 3 OF 13

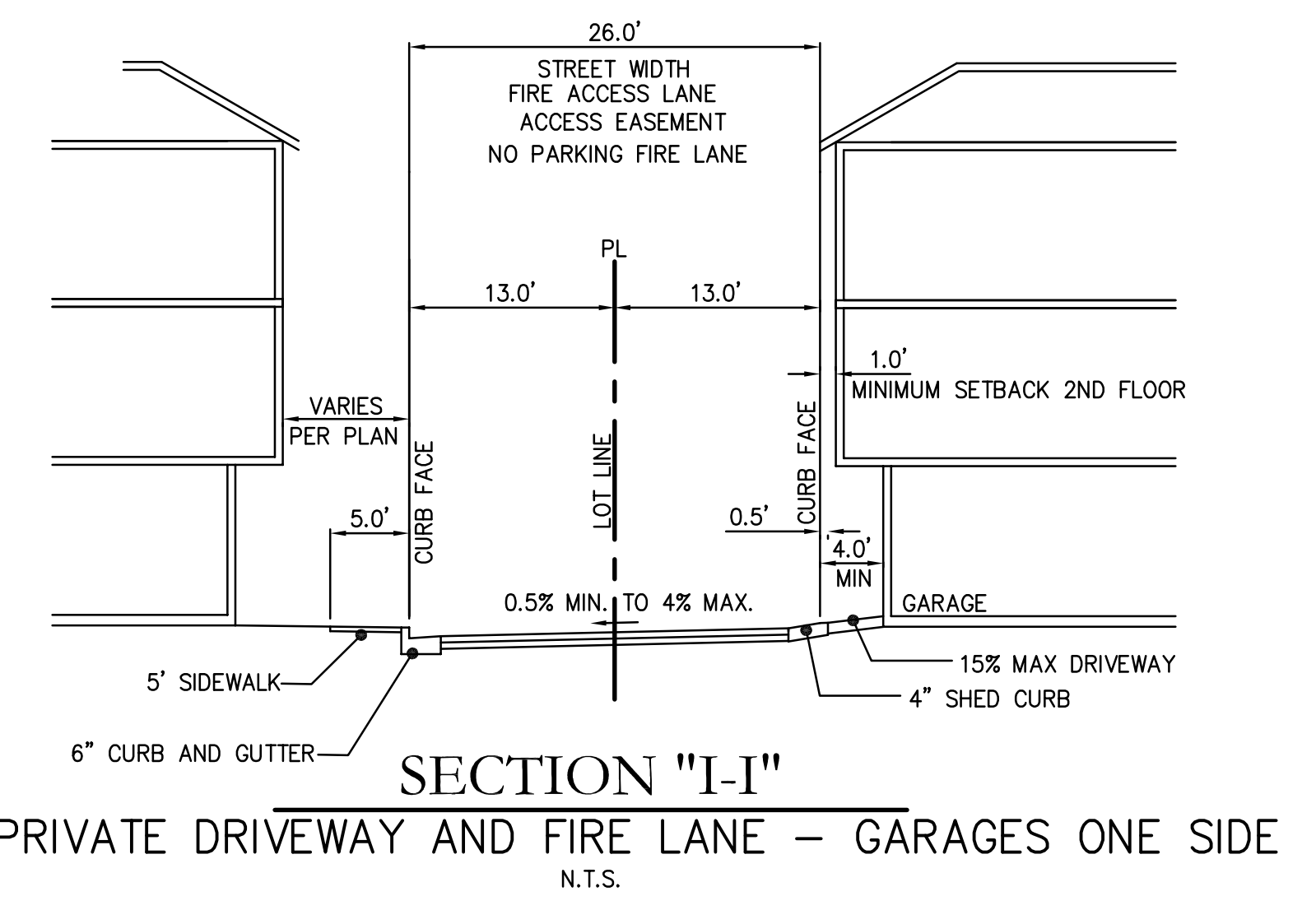
CONDITIONAL USE PERMIT
 FILE CASE # **CUP 1040-18**
SHEET 3 OF 13



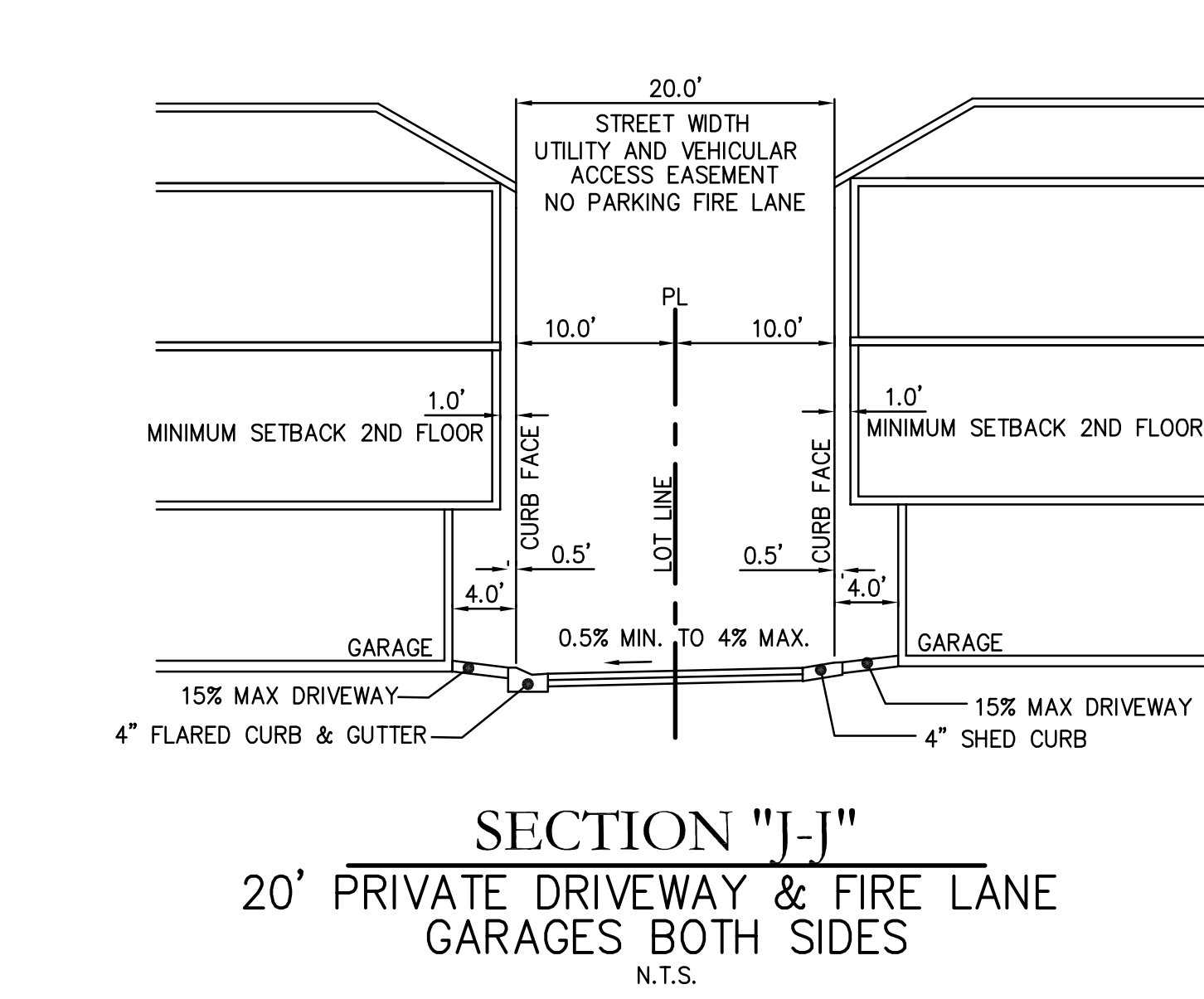
SECTION "G-G"
MAIN ENTRY- PRIVATE DRIVEWAY & FIRE LANE
N.T.S.



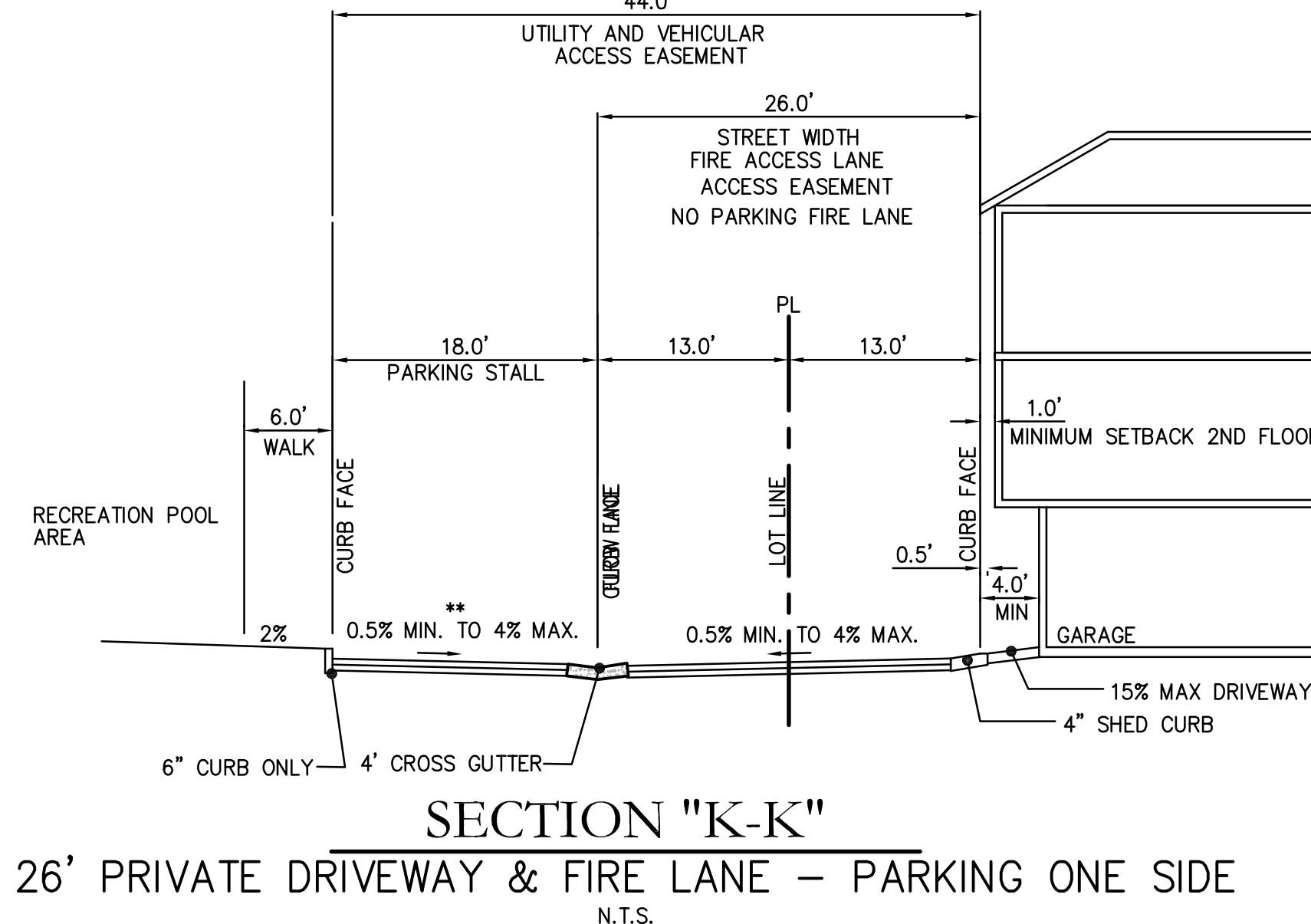
SECTION "H-H"
MAIN ENTRY AT GATE- PRIVATE DRIVEWAY & FIRE LANE
N.T.S.



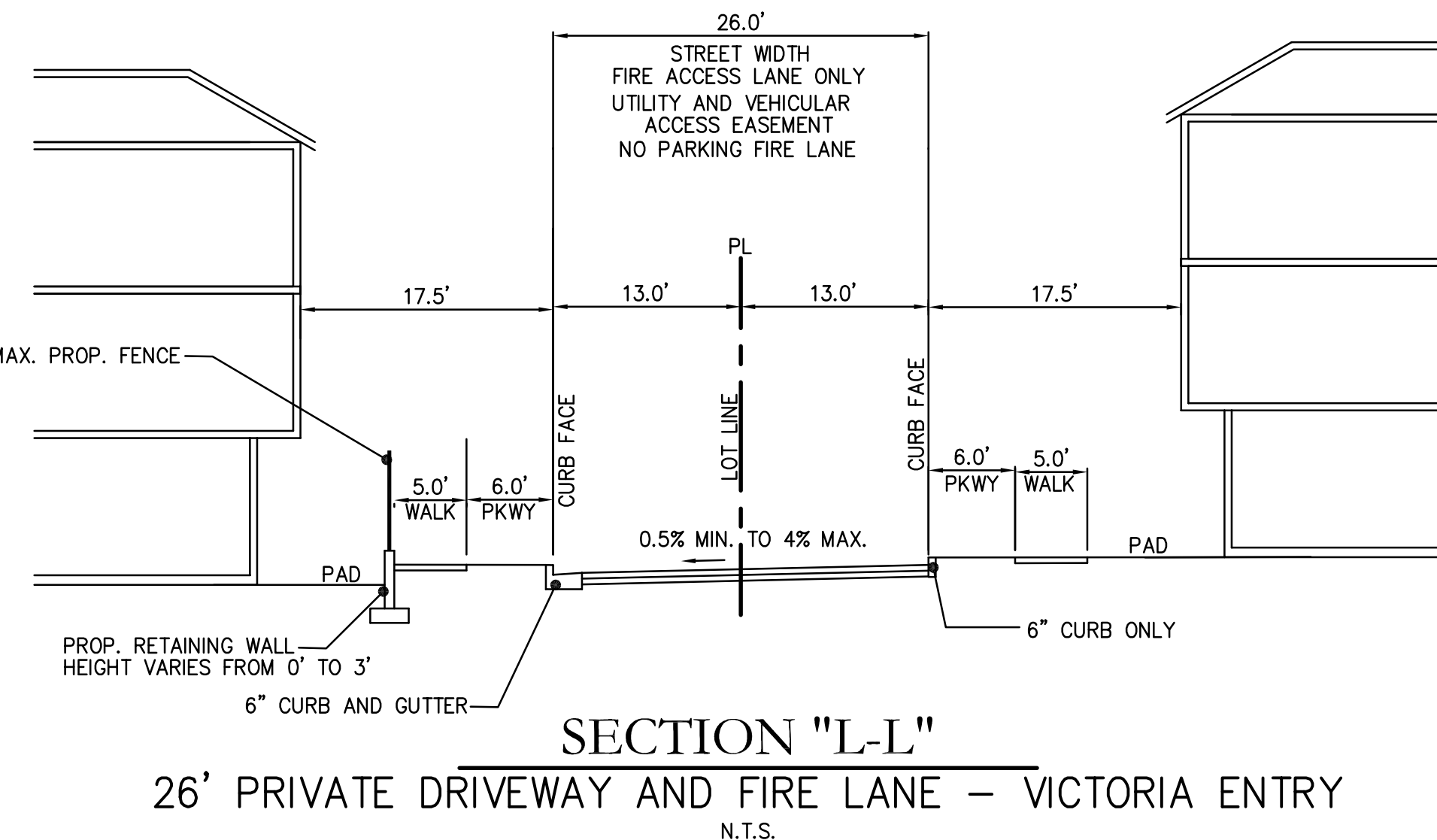
SECTION "I-I"
26' PRIVATE DRIVEWAY AND FIRE LANE - GARAGES ONE SIDE
N.T.S.



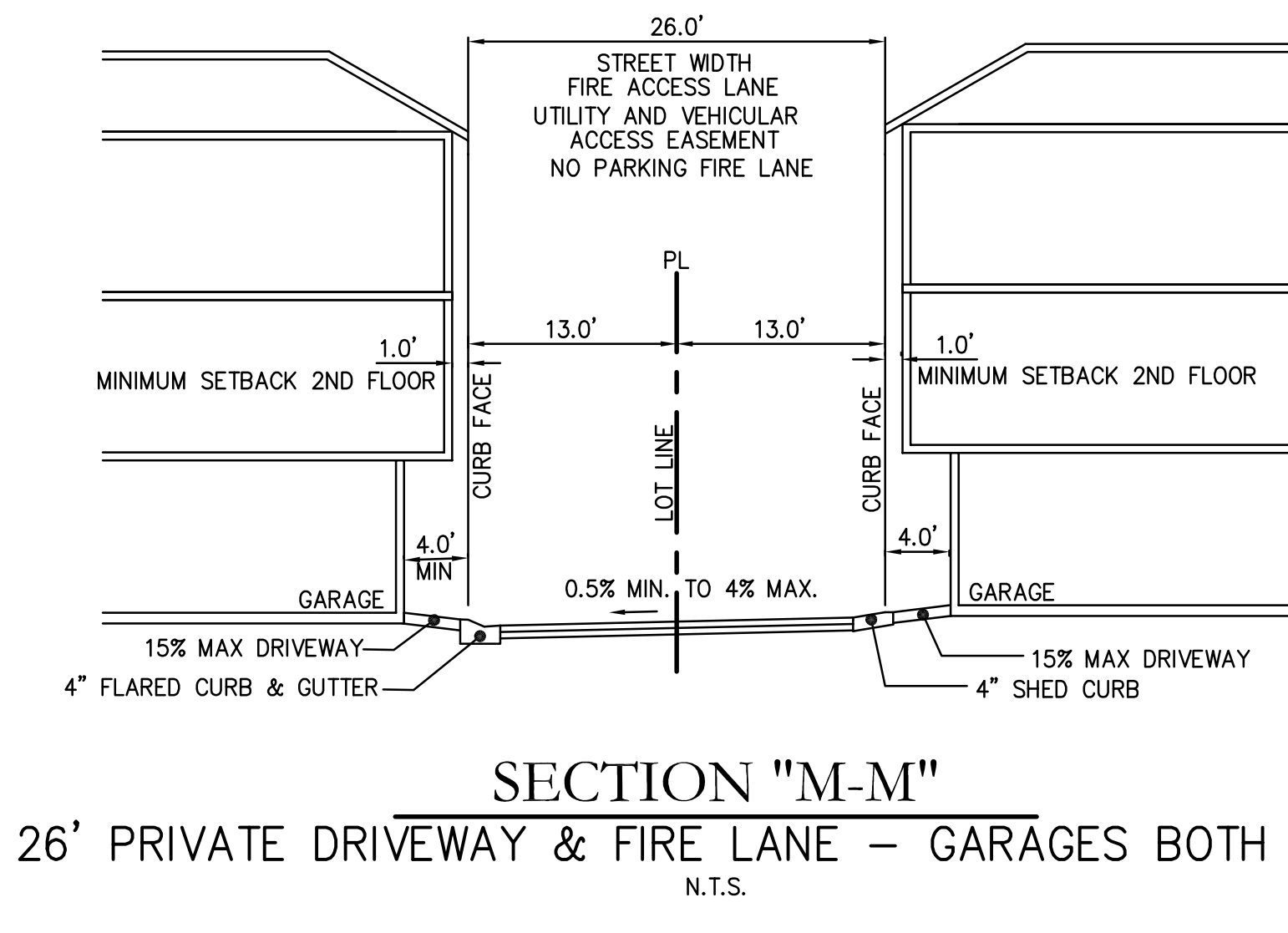
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20' PRIVATE DRIVEWAY & FIRE LANE
GARAGES BOTH SIDES
N.T.S.



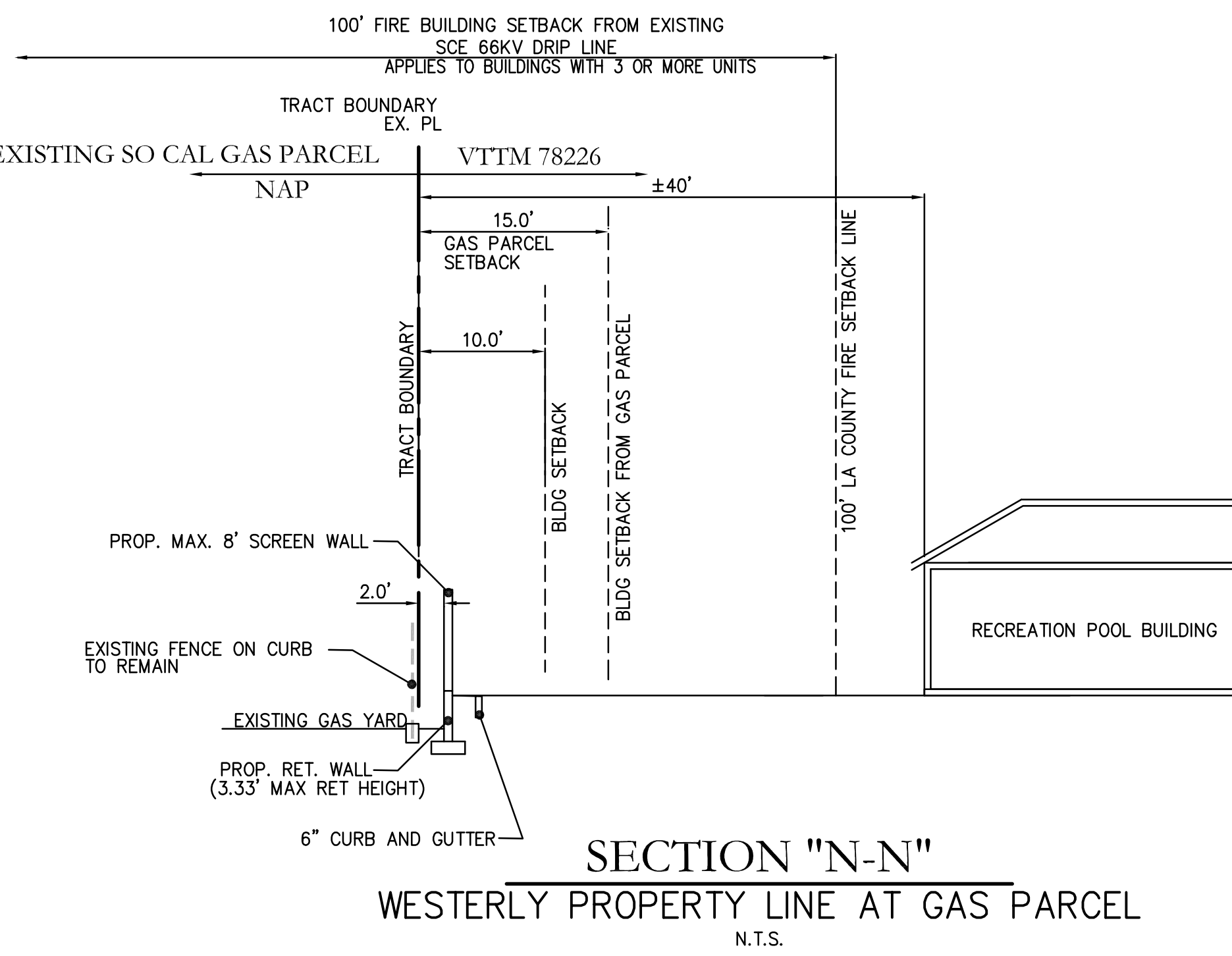
SECTION "K-K"
26' PRIVATE DRIVEWAY & FIRE LANE - PARKING ONE SIDE
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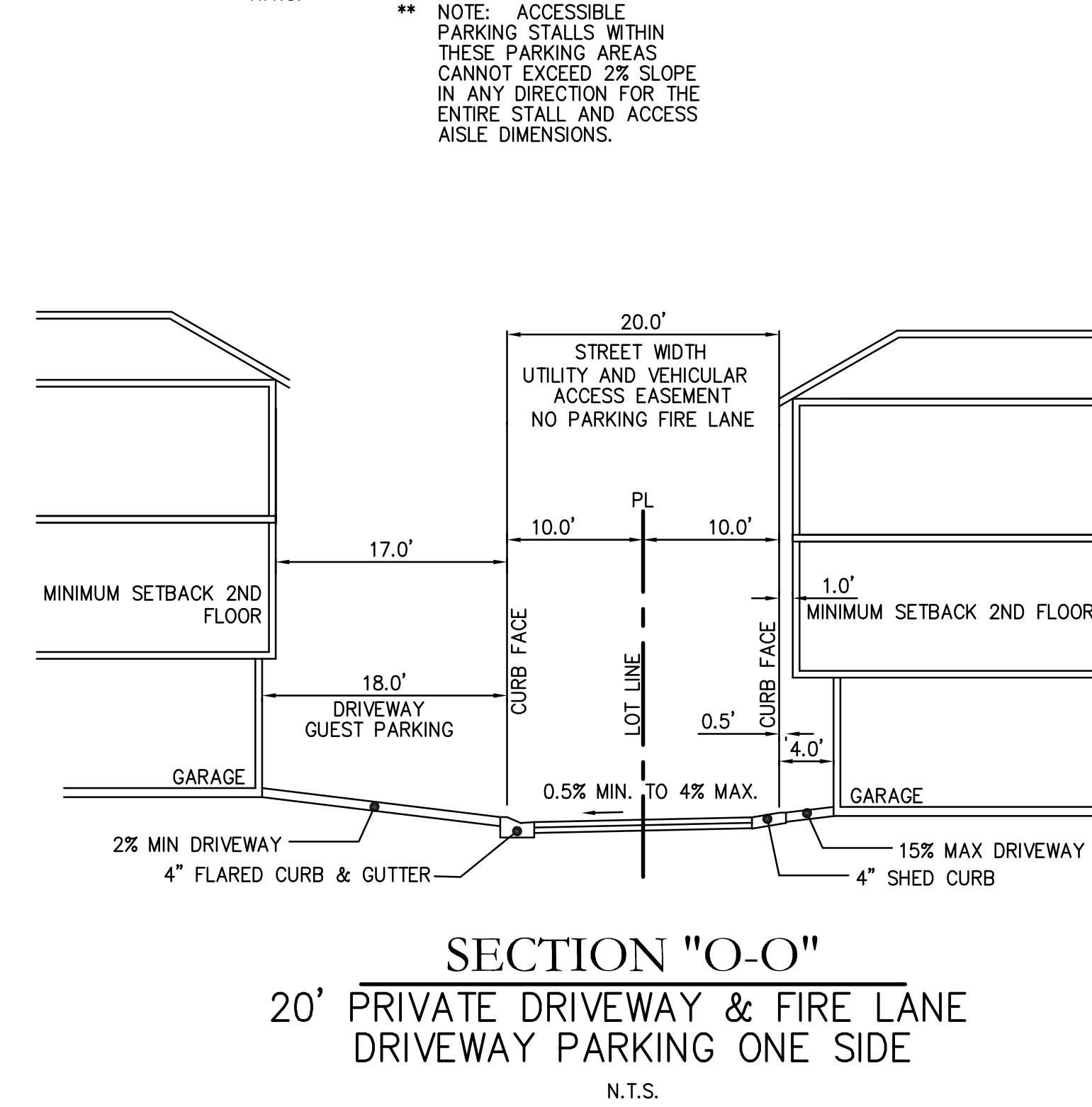
SECTION "L-L"
26' PRIVATE DRIVEWAY AND FIRE LANE - VICTORIA ENTRY
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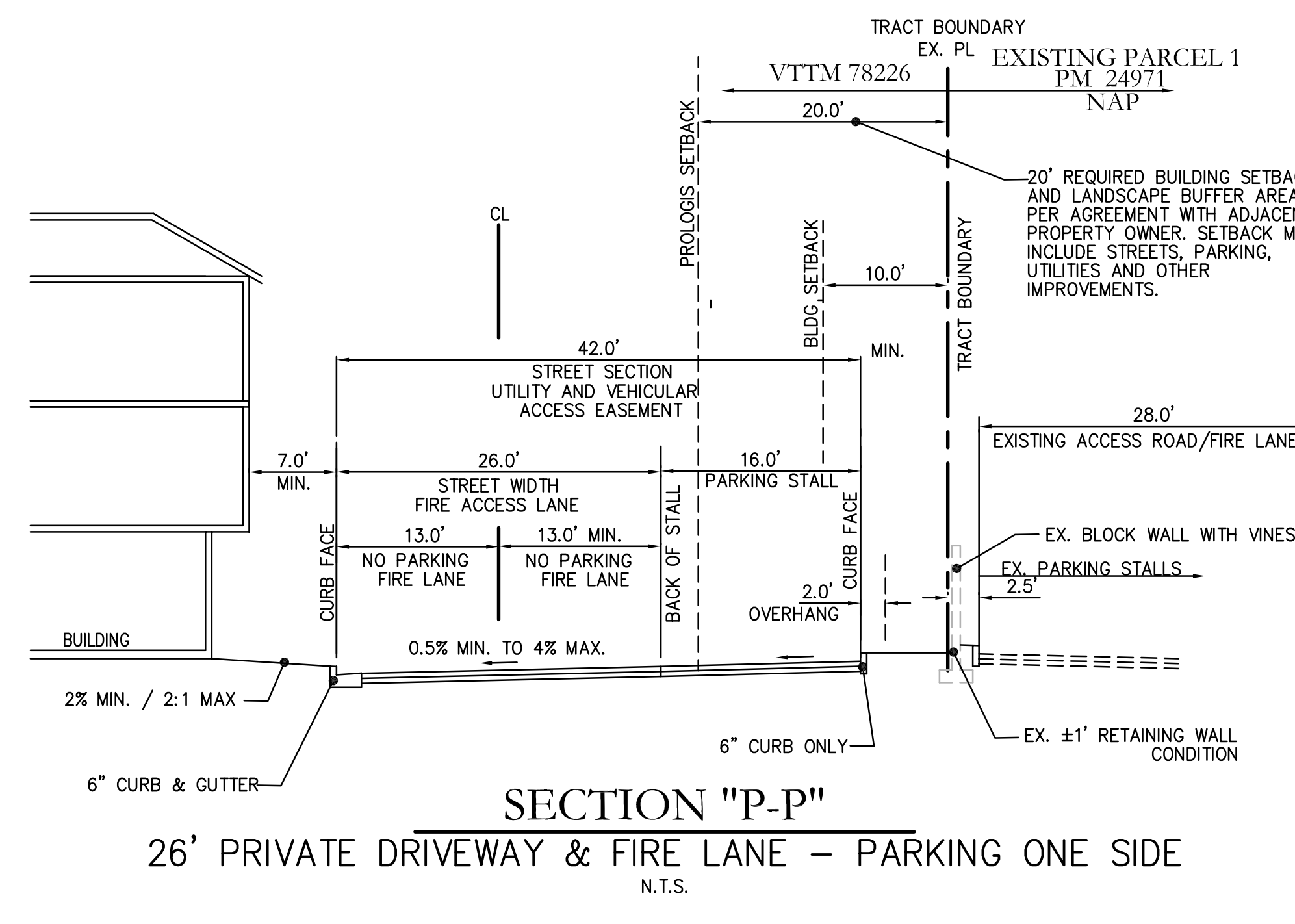
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26' PRIVATE DRIVEWAY & FIRE LANE - GARAGES BOTH SIDES
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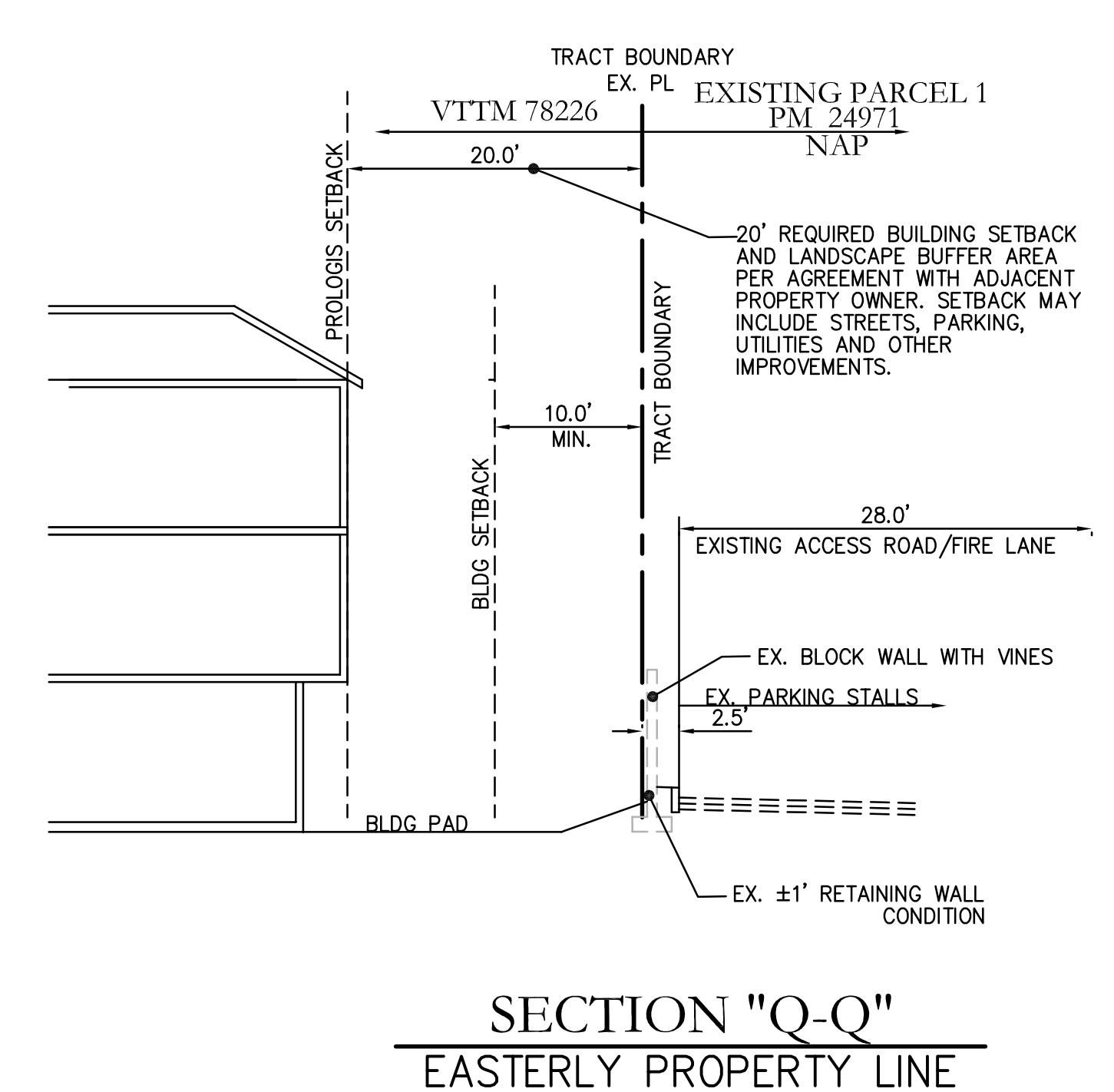
SECTION "N-N"
WESTERLY PROPERTY LINE AT GAS PARCEL
N.T.S.



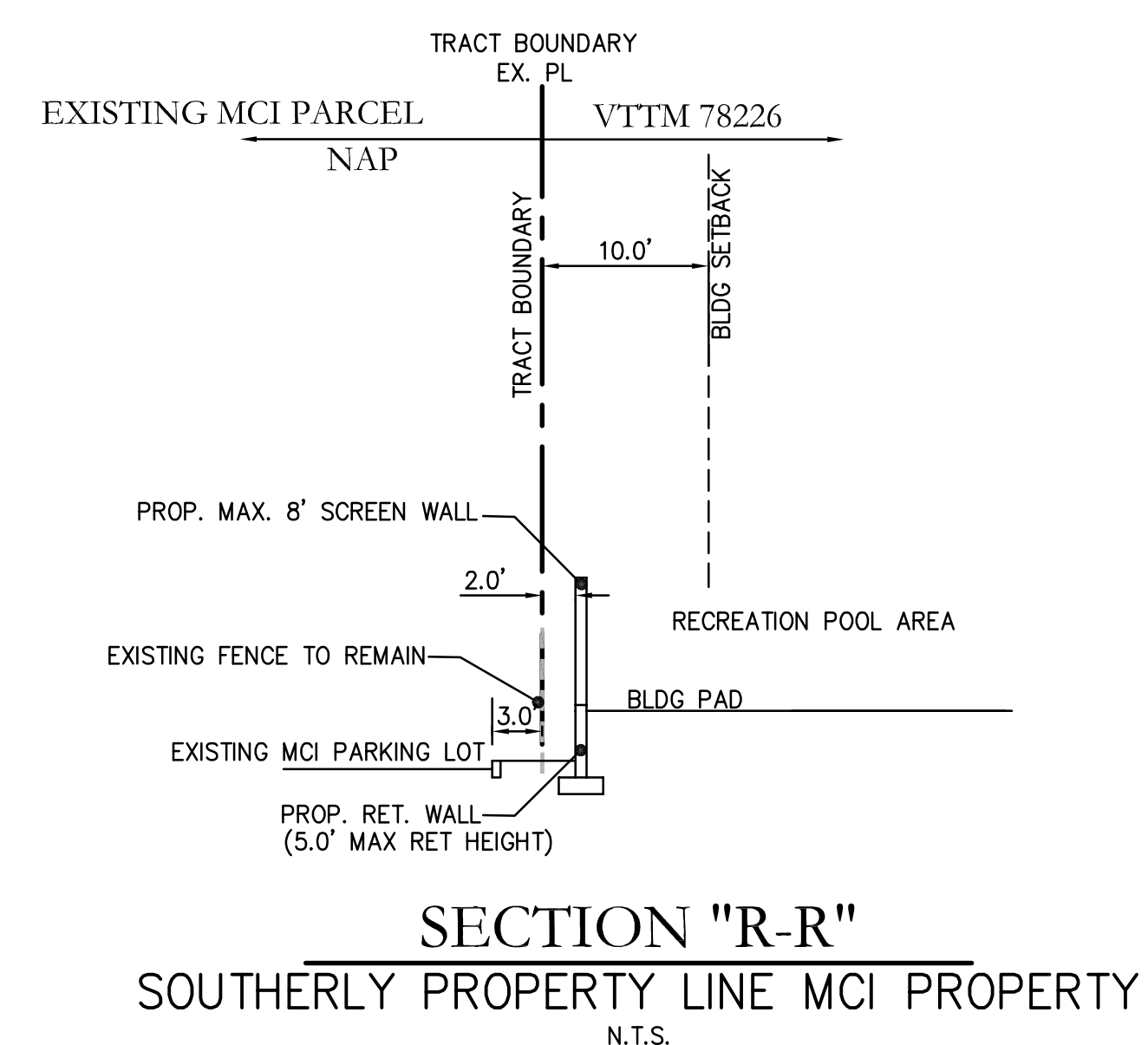
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20' PRIVATE DRIVEWAY & FIRE LANE
DRIVEWAY PARKING ONE SIDE
N.T.S.



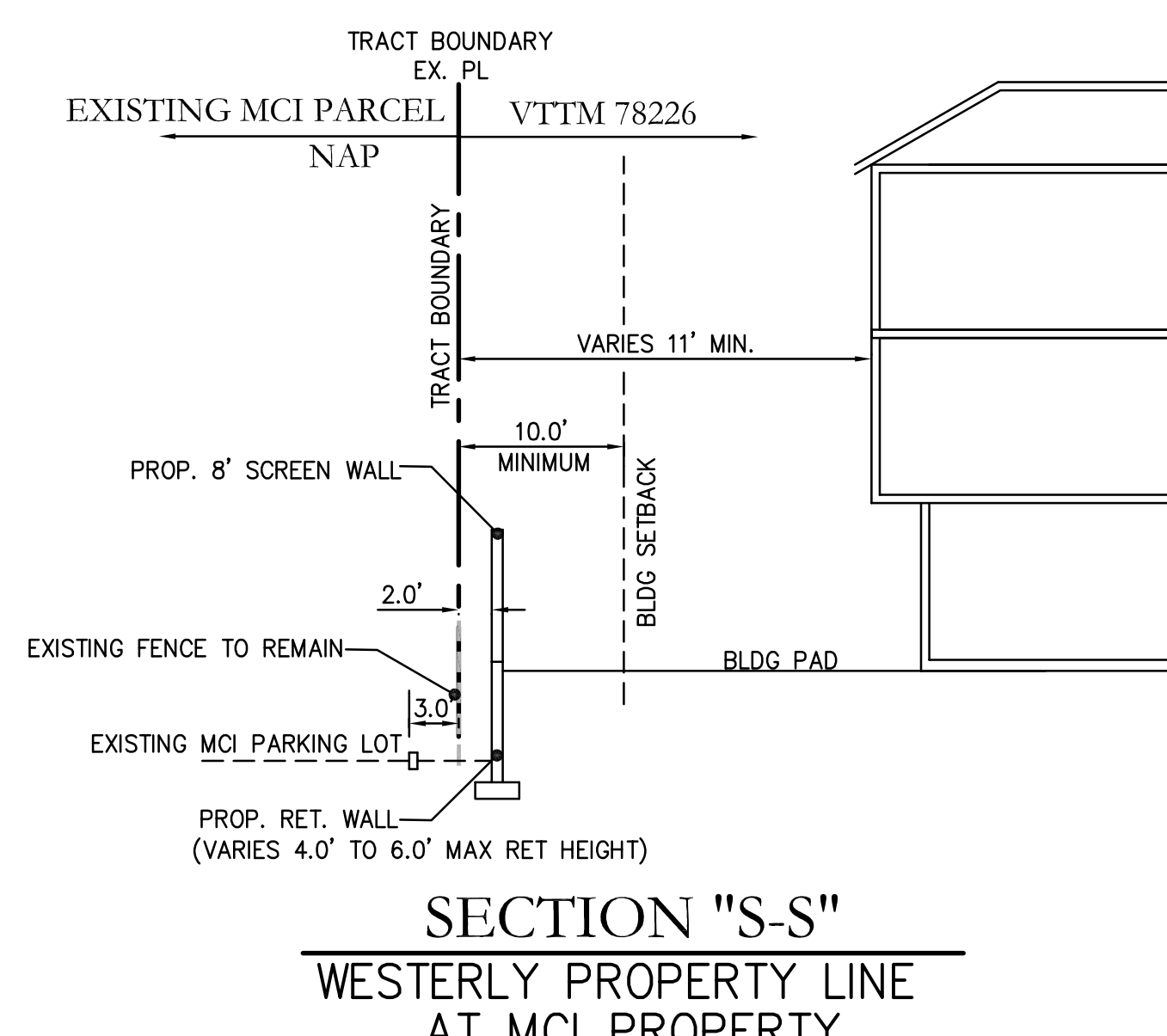
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26' PRIVATE DRIVEWAY & FIRE LANE - PARKING ONE SIDE
N.T.S.



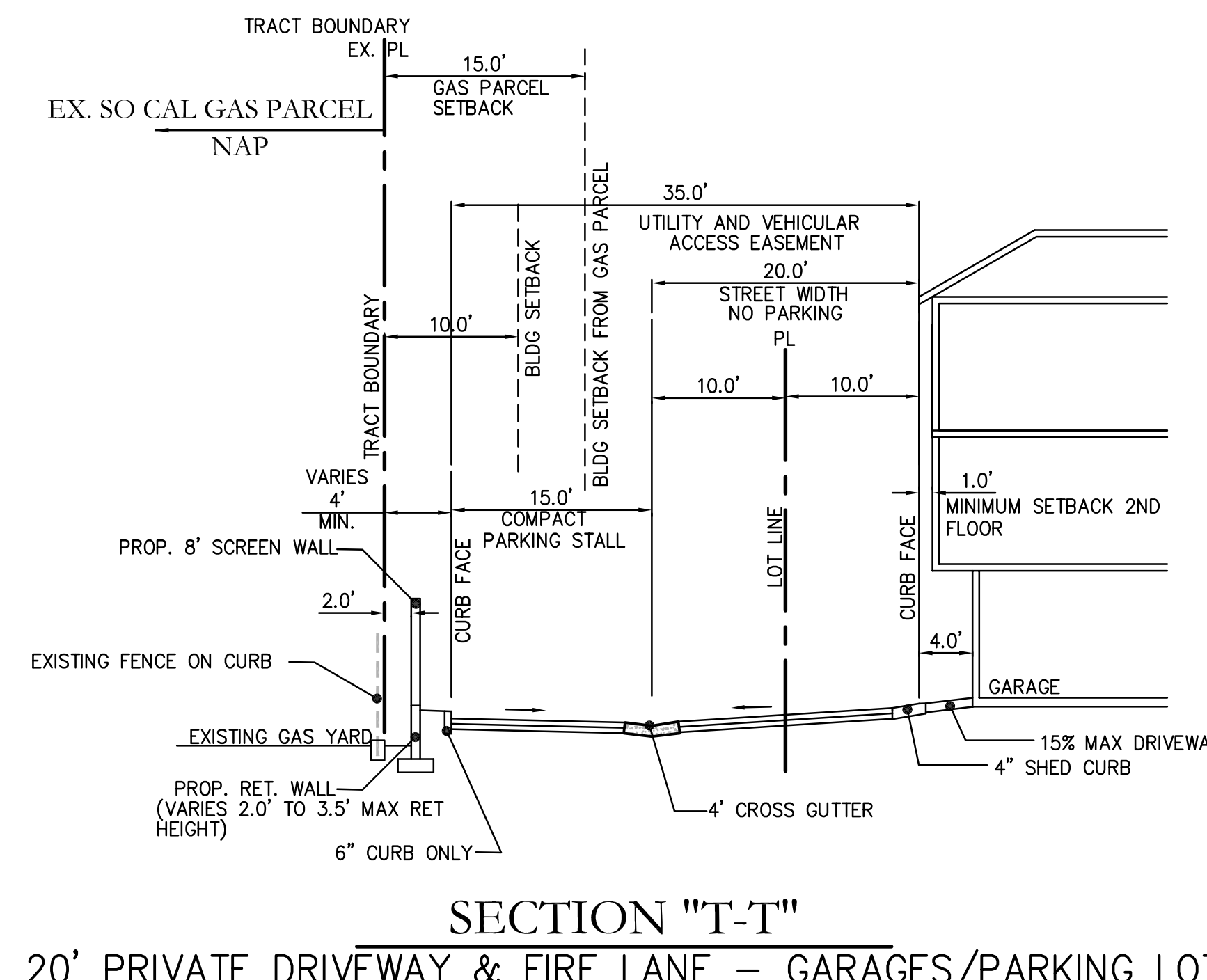
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EASTERLY PROPERTY LINE
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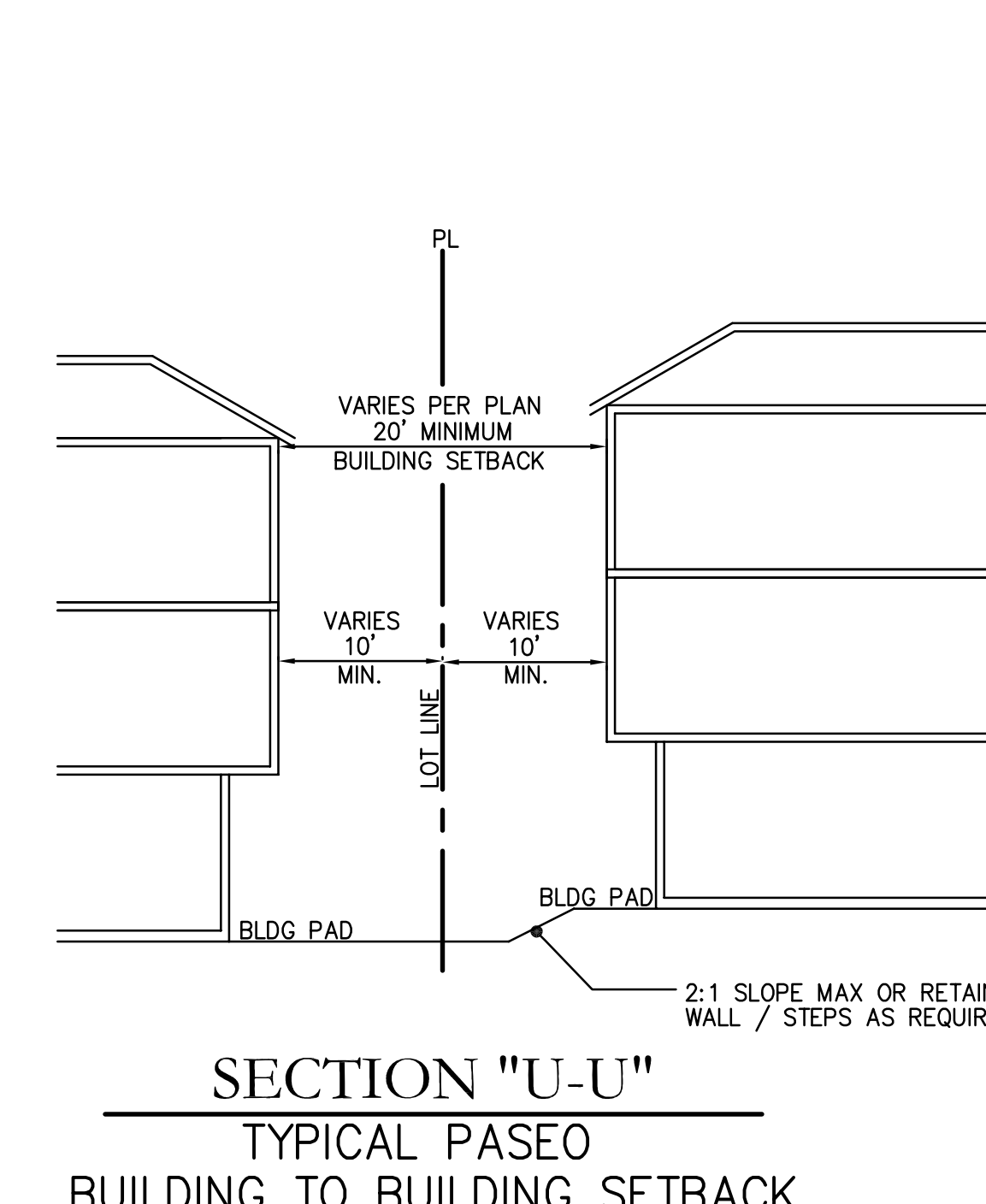
SECTION "R-R"
SOUTHERLY PROPERTY LINE MCI PROPERTY
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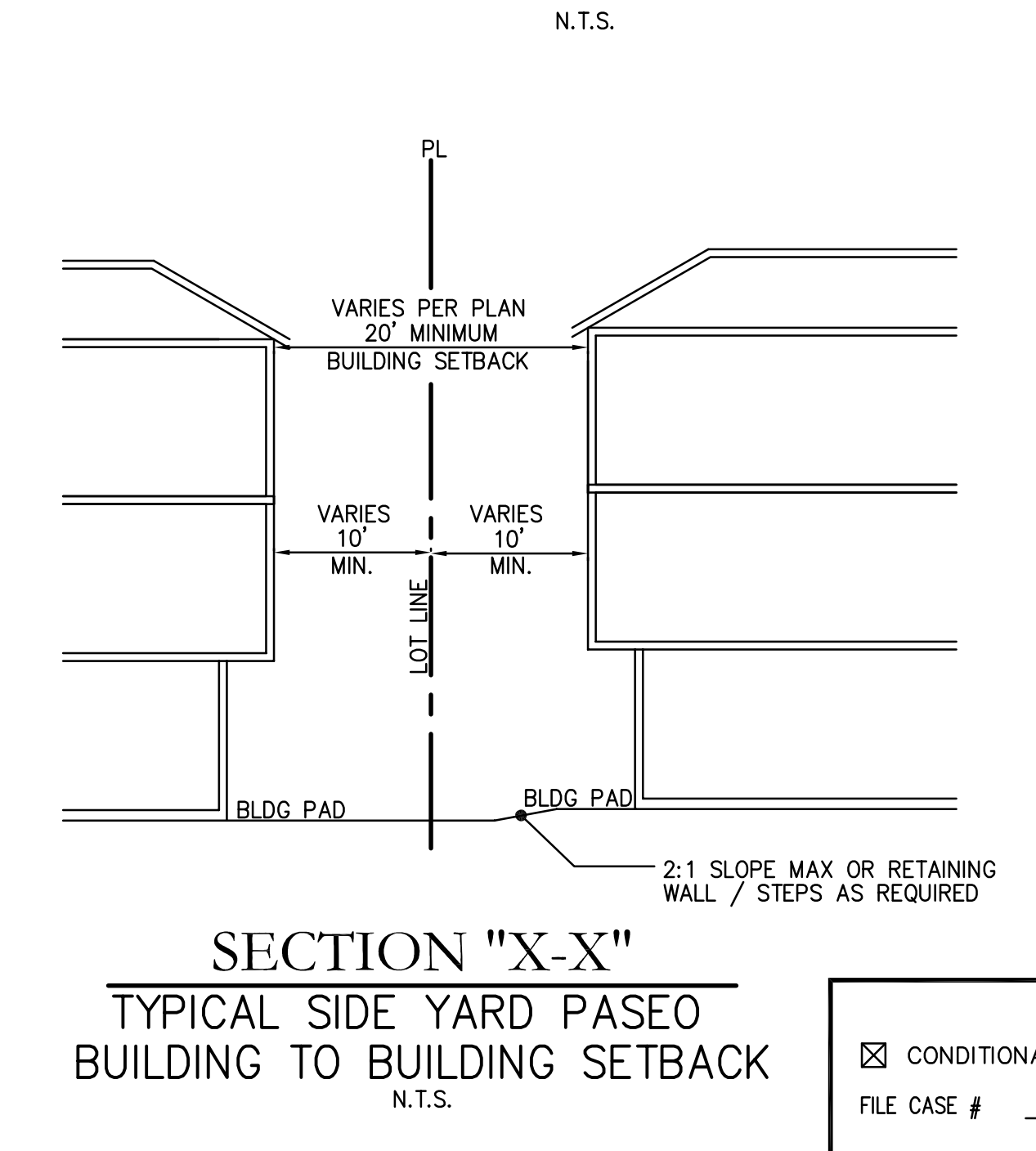
SECTION "S-S"
WESTERLY PROPERTY LINE
AT MCI PROPERTY
N.T.S.



SECTION "T-T"
20' PRIVATE DRIVEWAY & FIRE LANE - GARAGES/PARKING LOT
N.T.S.



SECTION "U-U"
TYPICAL PASEO
BUILDING TO BUILDING SETBACK
N.T.S.



SECTION "X-X"
TYPICAL SIDE YARD PASEO
BUILDING TO BUILDING SETBACK
N.T.S.

NOTE: ACCESSIBLE PARKING STALLS WITHIN THESE PARKING AREAS CANNOT EXCEED 2% SLOPE IN ANY DIRECTION FOR THE ENTIRE STALL AND ACCESS AISLE DIMENSIONS.

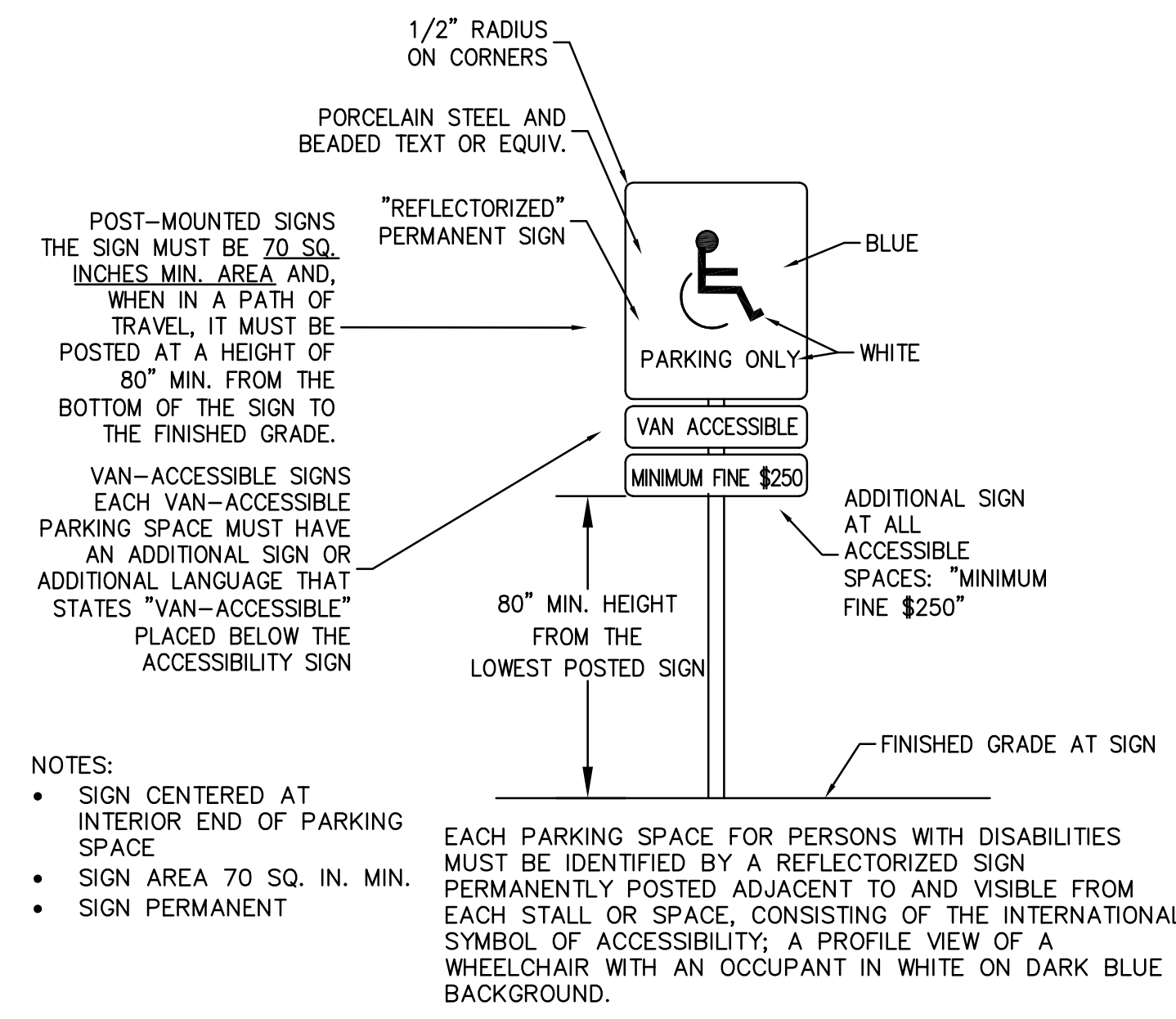
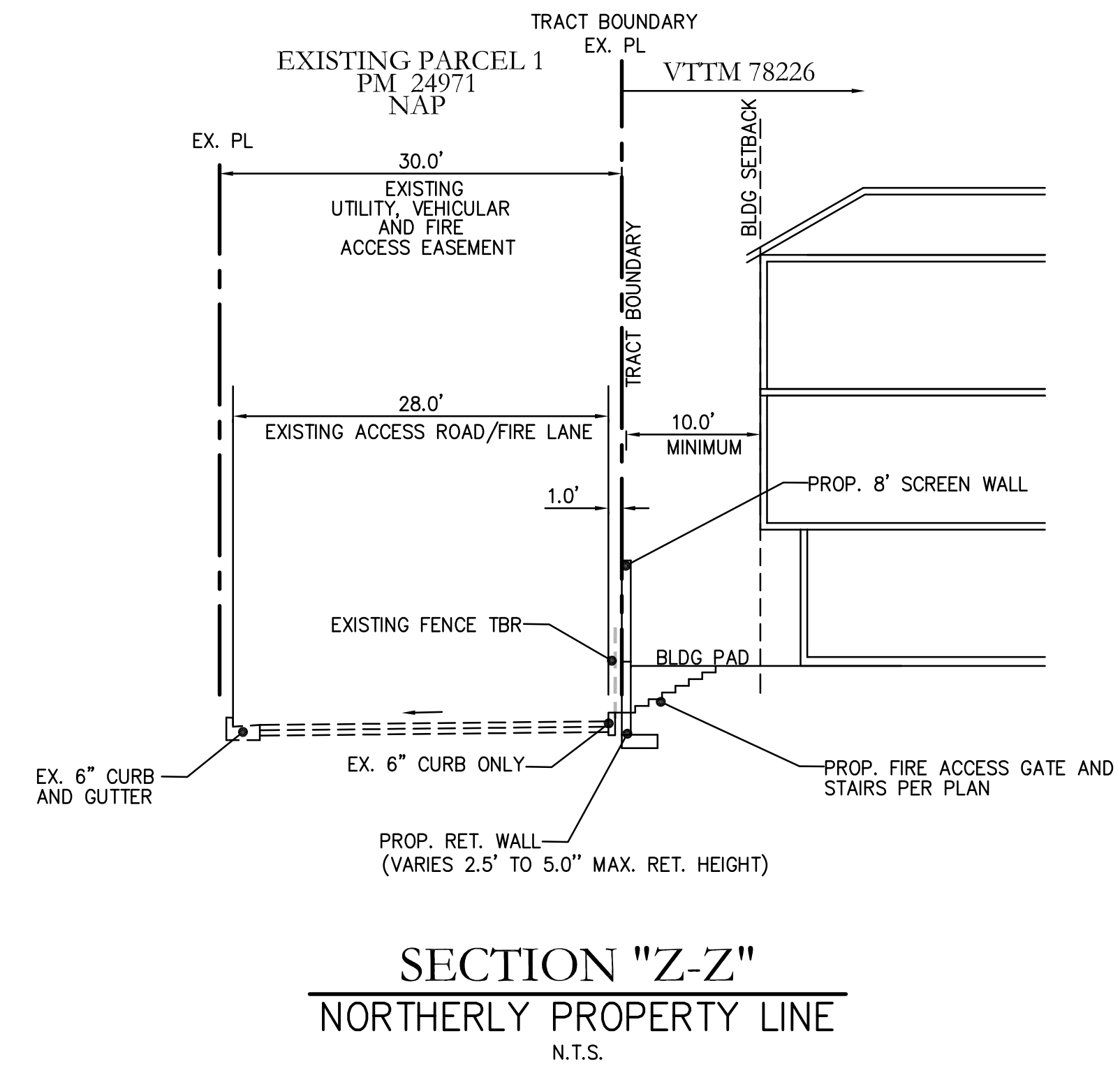
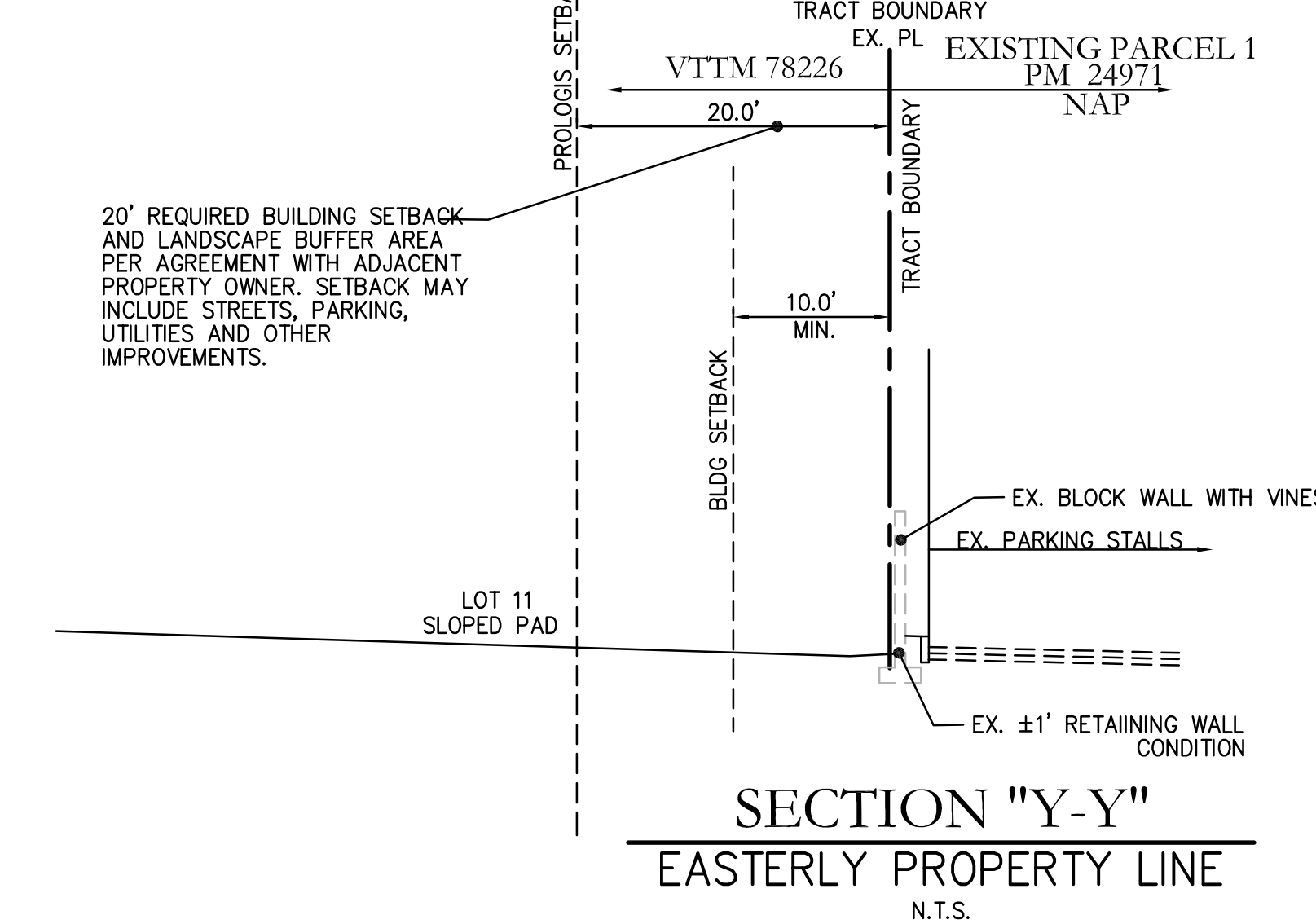
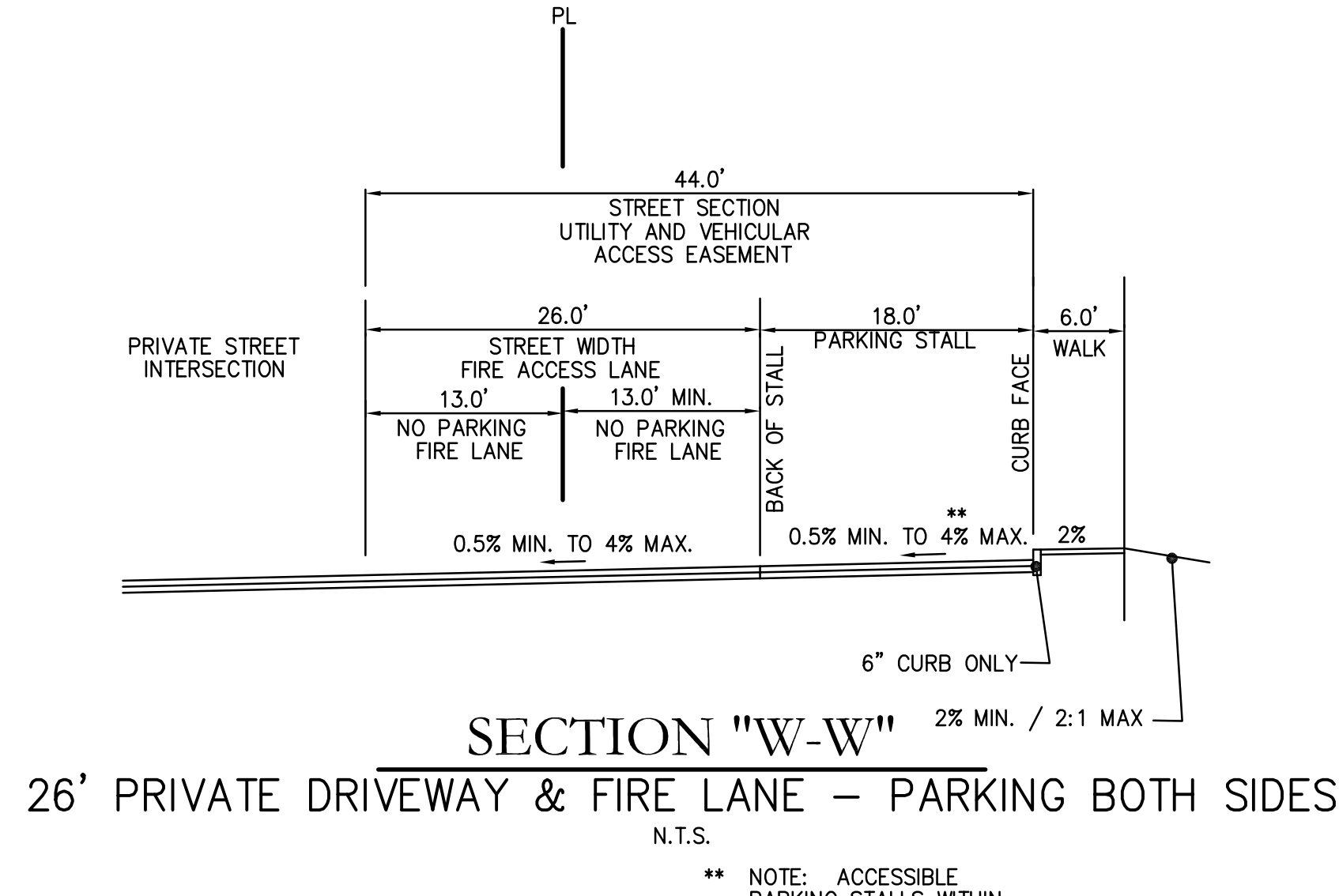
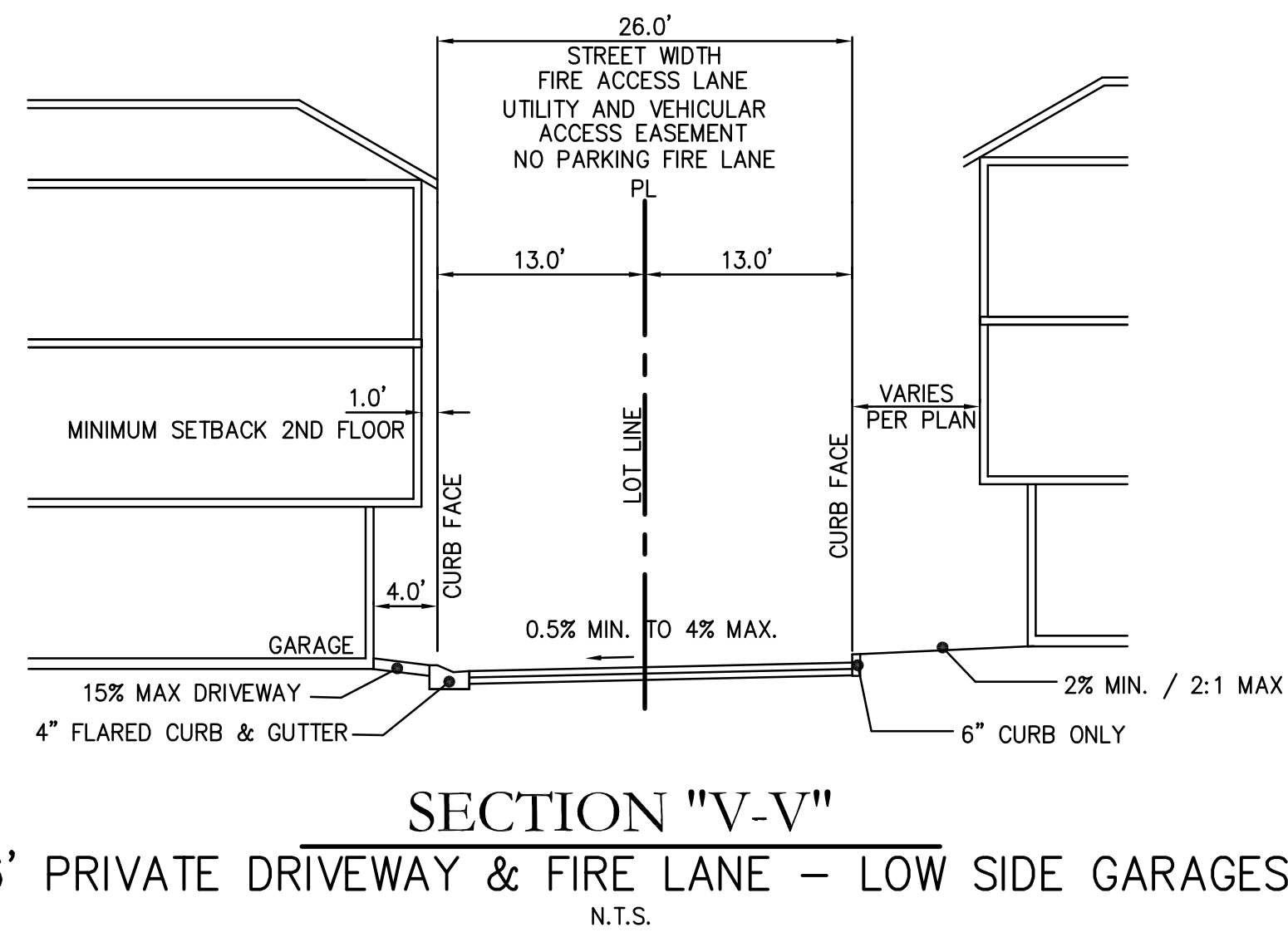
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23 HAVANE CA 92025
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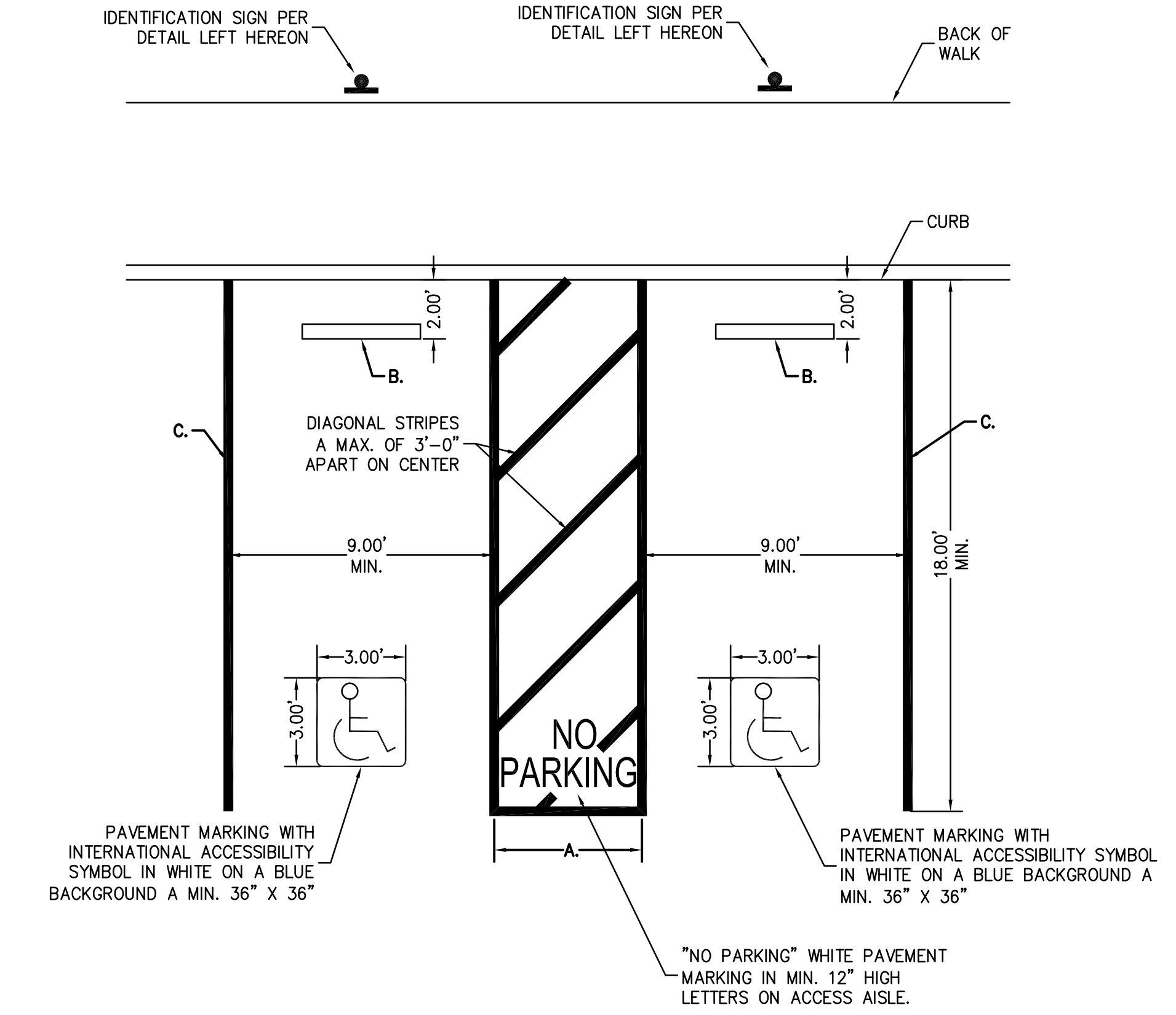
INTEGRAL COMMUNITIES
888 SAN CLAYTON DRIVE 100
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FAX: 949-720-3015

VESTING TENTATIVE TRACT MAP NO. 78226
CONDITIONAL USE PERMIT-SITE PLAN
TYPICAL SECTIONS
CITY OF CARSON
COMMUNITY DEVELOPMENT DEPARTMENT

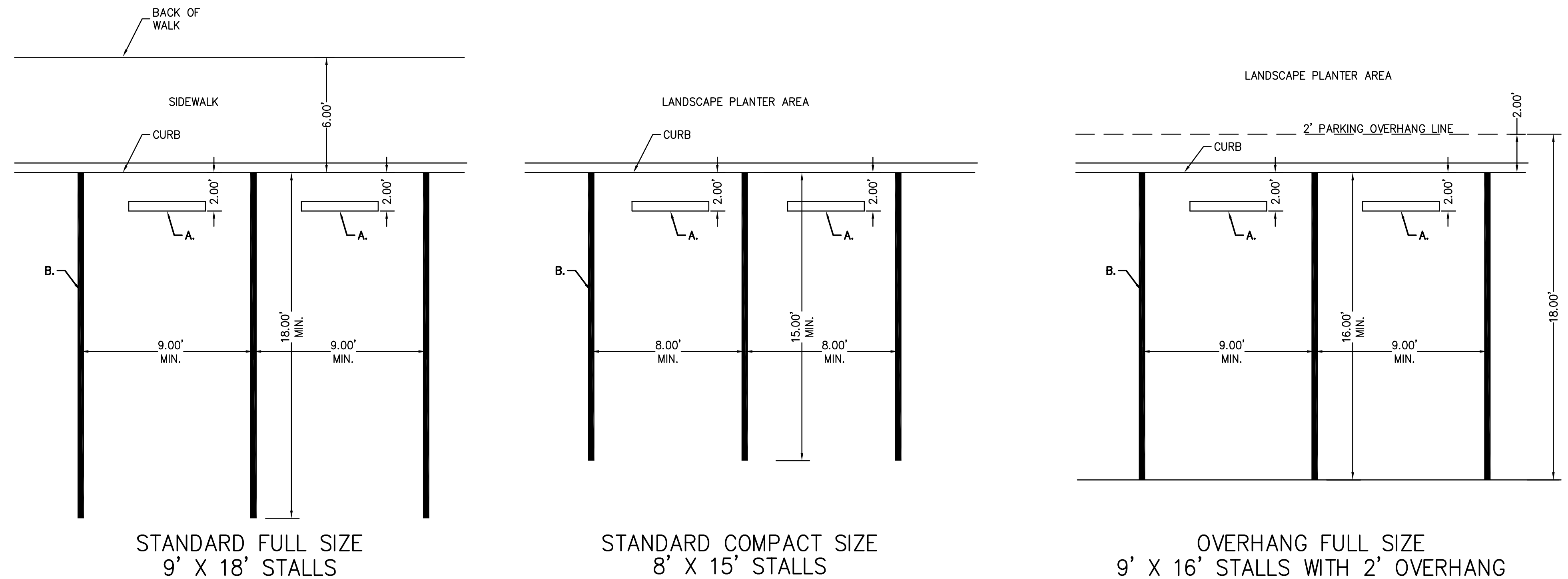
PLAN CONTROL
INTEGRAL
JOB NO. 381.688
DATE: 6-12-19
FILE CASE # **CUP 1040-18**
SHEET 4 OF 13



NOTE: ALL SPECIFICATIONS SHOWN HEREON ARE BASED ON THE 2016 C.B.C., CHAPTER 11B REQUIREMENTS. PLEASE REFER TO SAID DOCUMENT FOR FURTHER INFORMATION.



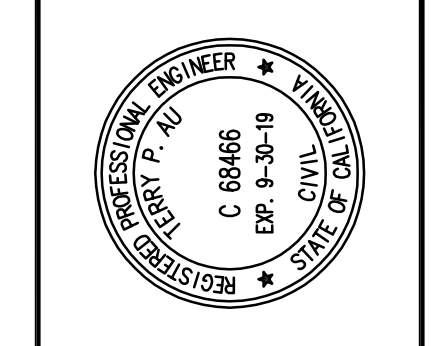
- A. ACCESS AISLE: 5'-0" MIN. WIDTH AT TYPICAL STALL. 8'-0" MIN. WIDTH AT VAN ACCESSIBLE STALL. ACCESS AISLES SHALL BE MARKED WITH A BLUE PAINTED BORDERLINE AROUND THEIR PERIMETER. THE AREA WITHIN THE BLUE BORDERLINES SHALL BE MARKED WITH DIAGONAL STRIPES A MAX. OF 36" ON CENTER IN A COLOR CONTRASTING WITH THAT OF THE AISLE SURFACE, PREFERABLY BLUE OR WHITE.
- B. WHEEL STOP REQUIRED IF WALK IS ONLY THE MIN. 4' WIDE (UP TO 6' WIDE). NOT REQUIRED FOR WALKS 6' WIDE OR GREATER.
- C. STRIPING: STRIPES TO BE PAINTED A COLOR CONTRASTING WITH PARKING SURFACE PREFERABLY BLUE OR WHITE.



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TYPICAL PARKING STALL DIMENSIONS

NO.	DATE	REVISIONS
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VESTING TENTATIVE TRACT MAP NO. 78226
CONDITIONAL USE PERMIT-SITE PLAN
TYPICAL SECTIONS
CITY OF CARSON
COMMUNITY DEVELOPMENT DEPARTMENT

PLAN SET: J
DATE: 6-12-19
JOB NO. 316.698
PLAN CONTROL: INTEGRAL
SHEET 5 OF 13

CONDITIONAL USE PERMIT
FILE CASE # **CUP 1040-18**
SHEET 5 OF 13

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- ⊗ ACCESSIBLE UNIT
- 53 INTERIOR VISITOR PARKING STALL NUMBER
- 29 OFF-SITE STREET PARKING STALL NUMBER

T TYPICAL SECTION - SEE TYPICAL SECTION SHEETS FOR DETAILS

ACCESSIBILITY LEGEND

- PRIVATE (INTERIOR) ADA ACCESSIBLE PATH (SEE NOTE ** HEREON)
- PUBLIC (EXTERIOR) ACCESSIBLE PATH (SEE NOTE ** HEREON)
- * BUS STOP
- E ELEVATOR
- G PEDESTRIAN GATE LOCATION, RESTRICTED PUBLIC ACCESS
- V VEHICULAR GATE LOCATION, RESTRICTED PUBLIC ACCESS
- P ADA ACCESSIBLE PARKING STALL LOCATION (3 REQUIRED/PROVIDED PER BELOW)
- R ADA ACCESS RAMP LOCATION

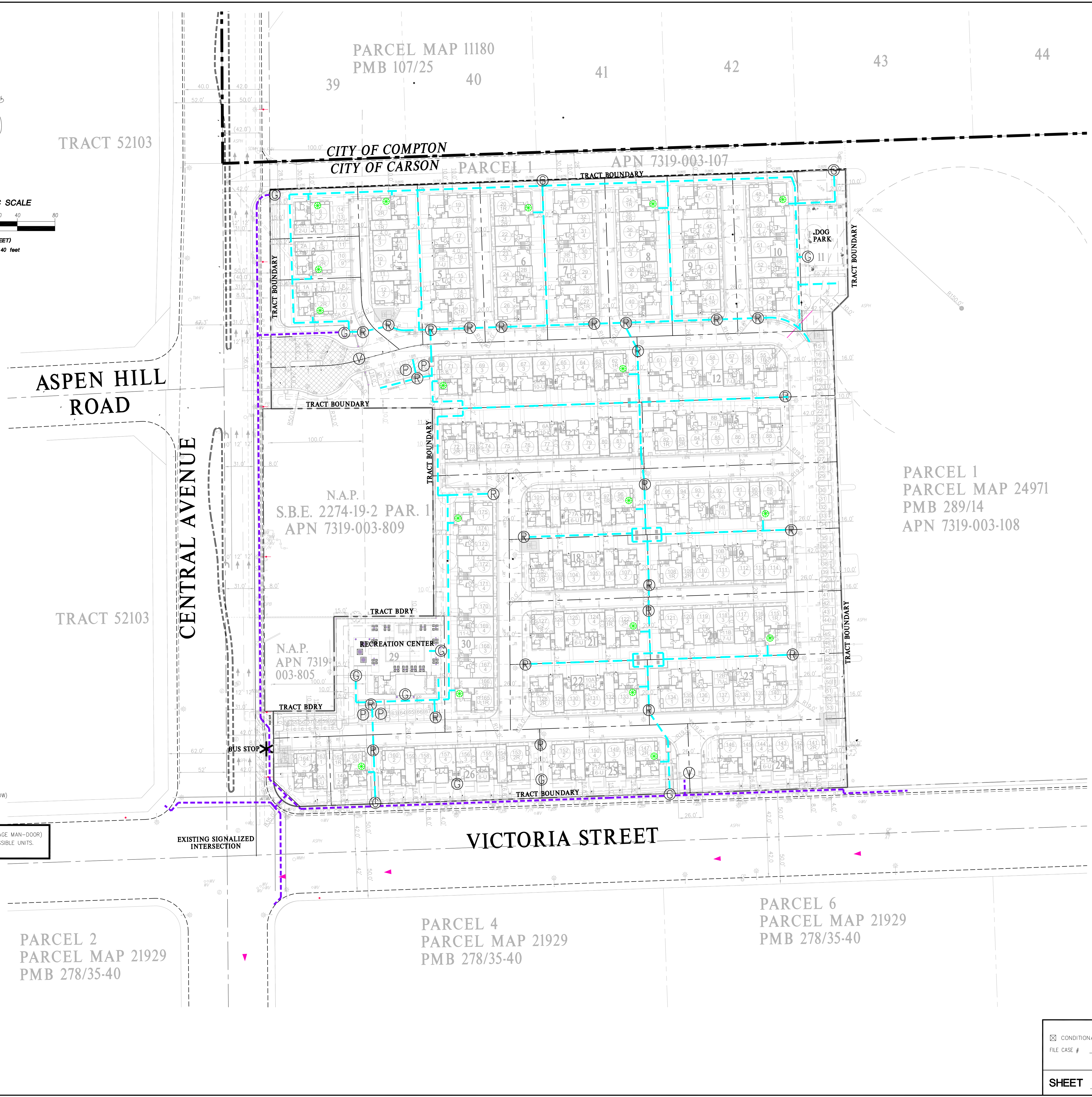
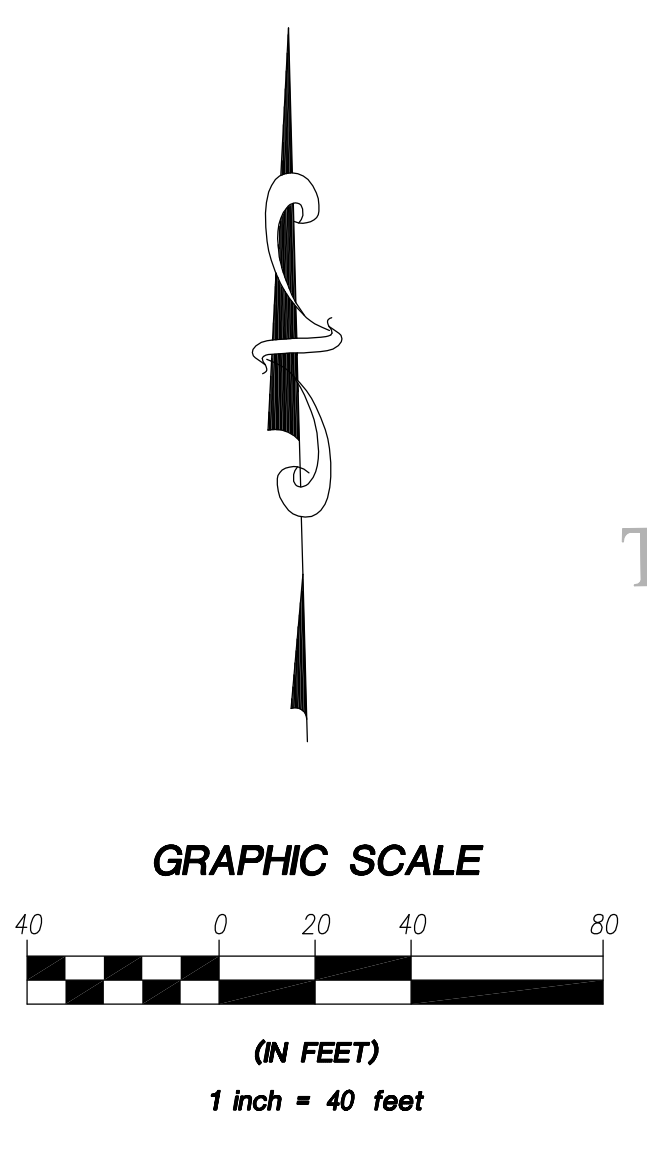
POSSIBLE ACCESSIBLE UNITS (0-INCH THRESHOLD AT FRONT DOOR AND GARAGE MAN-DOOR)
 10% OF PROPOSED 175 UNITS ARE REQUIRED TO BE ACCESSIBLE = 18 ACCESSIBLE UNITS.
 18 POSSIBLE LOCATIONS SHOWN ON ACCESSIBLE PATH OF TRAVEL.

NOTE: ALL GATED ACCESS POINTS ARE SUBJECT TO FURTHER REVIEW UPON SUBMITTAL OF SUBSEQUENT CONDITIONAL USE PERMITS.

** NOTE: THE ACCESSIBLE PATH OF TRAVEL DOES NOT EXCEED 5 PERCENT IN THE DIRECTION OF TRAVEL NOR DOES IT EXCEED 2 PERCENT CROSS SLOPE. 8.33 PERCENT MAXIMUM RAMPS MAY BE PROVIDED FOR A PATH OF TRAVEL BETWEEN 5 AND 8.33 PERCENT SLOPE. ALL ACCESSIBLE PATHS SHALL BE 4' MINIMUM WIDTH.

PARKING SUMMARY

DESCRIPTION	REQUIRED	PROVIDED
RESIDENTIAL		
TOTAL RESIDENT PARKING SPACES (2.35 SPACES PER UNIT)	411 SPACES	
TOTAL NUMBER OF RESIDENTIAL GARAGE PARKING SPACES		350 SPACES
TOTAL NUMBER OF FULL SIZE GUEST PARKING SPACES (9'X19')		12 SPACES
TOTAL NUMBER OF FULL SIZE GUEST PARKING SPACES (9'X16' W/ 2'OH)		39 SPACES
TOTAL NUMBER OF DRIVEWAY GUEST PARKING SPACES (8'X18')		9 SPACES
TOTAL NUMBER OF COMPACT GUEST PARKING SPACES (8'X15')		7 SPACES
TOTAL NUMBER OF PARKING SPACES PROVIDED		417 SPACES
TOTAL NUMBER OF GUEST PARKING SPACES		67 SPACES
PER CBC TABLE 11B-208.2, 51 TO 75 PROVIDED GUEST SPACES = 3 REQUIRED ACCESSIBLE STALLS AS SHOWN, THE PROJECT IS PROVIDING 4 ACCESSIBLE STALLS AS REQUIRED WITH 2 VAN AND 2 STANDARD ACCESSIBLE STALLS.		



PARCEL 2
 PARCEL MAP 21929
 PMB 278/35-40

PARCEL 4
 PARCEL MAP 21929
 PMB 278/35-40

PARCEL 6
 PARCEL MAP 21929
 PMB 278/35-40

<p>URBAN RESOURCE CONSULTING CIVIL ENGINEERS 23 HAVANT CA 92025 PHONE: 949-727-9095 FAX: 949-727-9098</p> <p>INTEGRAL COMMUNITIES 888 SAN CLEMENTE SUITE 100 NEWPORT BEACH, CA PHONE: 949-999-5715 FAX: 949-727-2015</p> <p>CITY OF CARSON COMMUNITY DEVELOPMENT DEPARTMENT</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>REVISIONS</th> </tr> <tr> <td>7</td> <td></td> <td></td> </tr> <tr> <td>6</td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> </tr> <tr> <td>1</td> <td></td> <td></td> </tr> </table> <p>VESTING TENTATIVE TRACT MAP NO. 78226 CONDITIONAL USE PERMIT-SITE PLAN ACCESSIBILITY EXHIBIT</p> <p>FILE CASE # CUP 1040-18</p> <p>SHEET 6 OF 13</p> <p>JOB NO. 316.698</p> <p>PLAN CONTROL: INTEGRAL PLAN SET: J DATE: 6-11-19</p>	NO.	DATE	REVISIONS	7			6			5			4			3			2			1		
NO.	DATE	REVISIONS																							
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LEGEND

- BOUNDARY
- RIGHT-OF-WAY
- EXISTING LOT LINE
- EXISTING CENTERLINE
- EXISTING EASEMENT
- DW --- EXISTING DOMESTIC WATER
- SD --- EXISTING STORM DRAIN
- S --- EXISTING SEWER
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FIRE HYDRANT INFO:

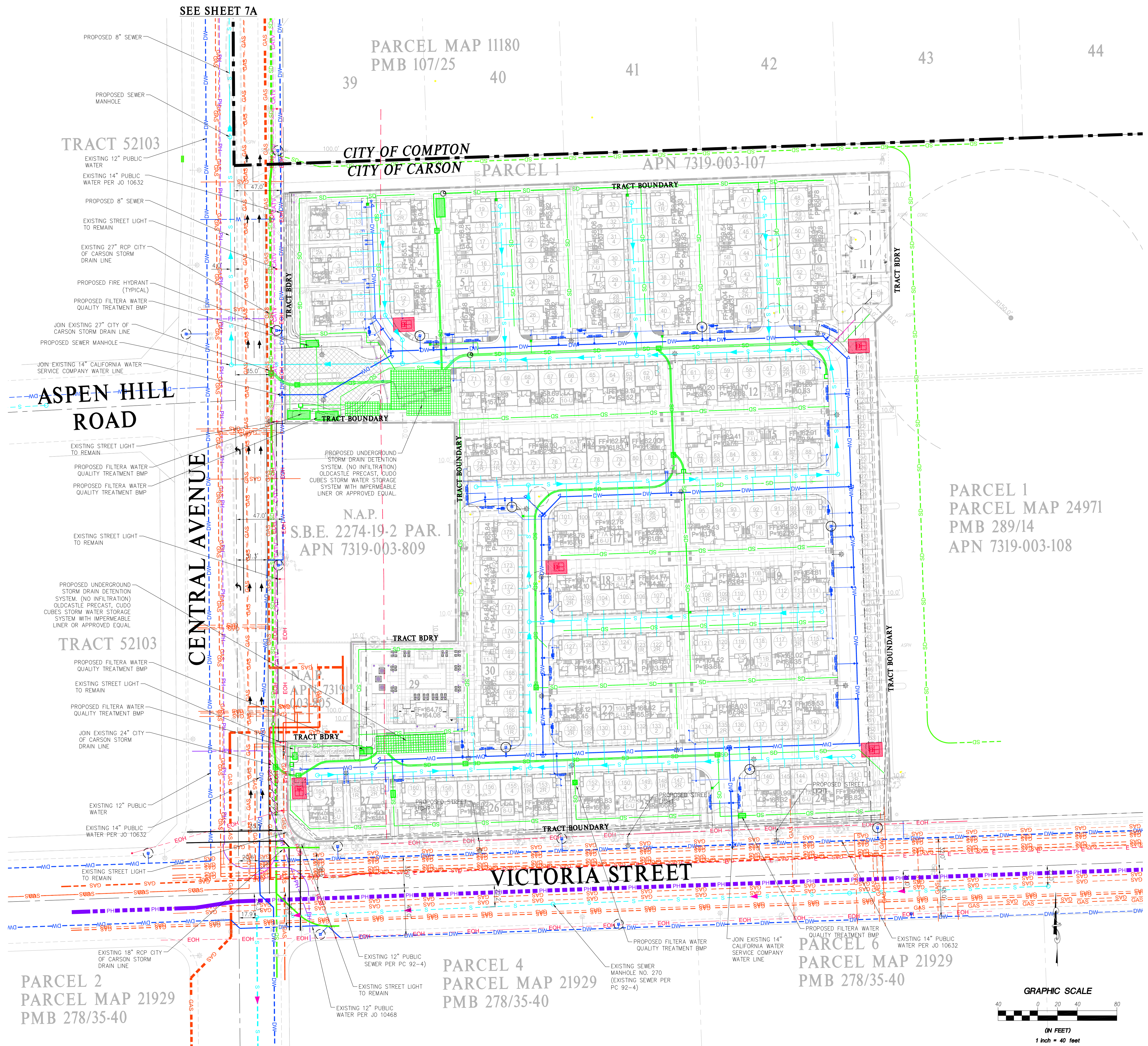
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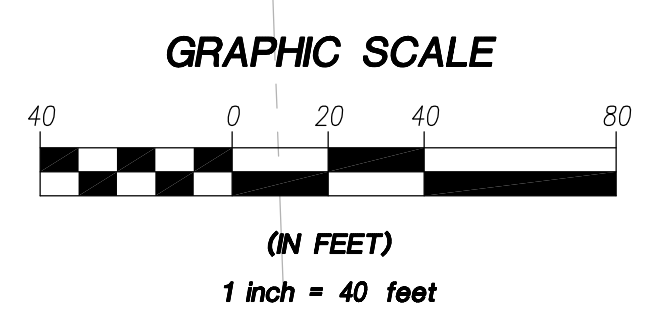
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INFILTRATION/RETENTION FOR THE SITE IS DEEMED INFEASIBLE BASED ON THE DUE DILIGENCE GEOTECHNICAL EXPLORATION REPORT PREPARED BY LEIGHTON AND ASSOCIATES, INC. DATED NOVEMBER 11, 2017. INFILTRATION RESULTS FROM THE FIELD EXPLORATION INDICATE VERY LOW INFILTRATION RATES AT THE TESTED LOCATIONS AND DEPTH THAT DO NOT MEET THE REQUIREMENT FOR STORMWATER INFILTRATION FEASIBILITY OF 0.3in/hr. SINCE INFILTRATION IS NOT PROPOSED WITH THE DETENTION SYSTEM, ADDITIONAL SETBACKS TO RIGHT OF WAY, PROPERTY LINES OR BUILDING FOUNDATIONS IS NOT REQUIRED.

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BOTH OFF-SITE SEWER CONNECTION OPTIONS (RADBARD STREET AND ASPEN HILLROAD) WERE ANALYZED IN THE SEWER SYSTEM HYDRAULIC ANALYSIS FOR CARSON - VICTORIA GREENS, AS PREPARED BY STEVEN ANDREWS ENGINEERING, DATED 6-11-19. OPTION # 1 WAS APPROVED FOR FEASIBILITY WHILE OPTION # 2 REQUIRES FURTHER FLOW MONITORING TO DETERMINE THE CAPACITY IN THE EXISTING SEWER SYSTEM. PER COUNTY OF LOS ANGELES SEWER AREA STUDY PC 8-7AS ORSN, ESTU2018000184 IF THE DEVELOPMENT OF OPTION # 2 IS REQUIRED, ADDITIONAL FLOW MEASUREMENTS WILL BE DONE. THE TENTATIVE MAP IS ILLUSTRATING BOTH OPTIONS FOR OFF-SITE SEWER CONNECTION, AND THE FINAL SEWER CONNECTION TO THE EXISTING PUBLIC SEWER SYSTEM WILL BE DETERMINED DURING FINAL ENGINEERING. BOTH SEWER OPTIONS ARE INCLUDED IN THE CEQA ANALYSIS FOR THE PROJECT.



<p>URBAN RESOURCE CONSULTING CIVIL ENGINEERS 23 HAVANE CA 90201 PHONE: 949-999-5715 FAX: 949-727-9098</p>	
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<p>VESTING TENTATIVE TRACT MAP NO. 78226 CONDITIONAL USE PERMIT-SITE PLAN PRELIMINARY UTILITIES</p>	
<p>CITY OF CARSON COMMUNITY DEVELOPMENT DEPARTMENT</p>	
<p>PLAN SET: J DATE: 6-12-19</p>	<p>JOB NO. 316.698 INTERVAL</p>
<p>CONDITIONAL USE PERMIT FILE CASE # CUP 1040-18</p>	
<p>SHEET 7 OF 13</p>	

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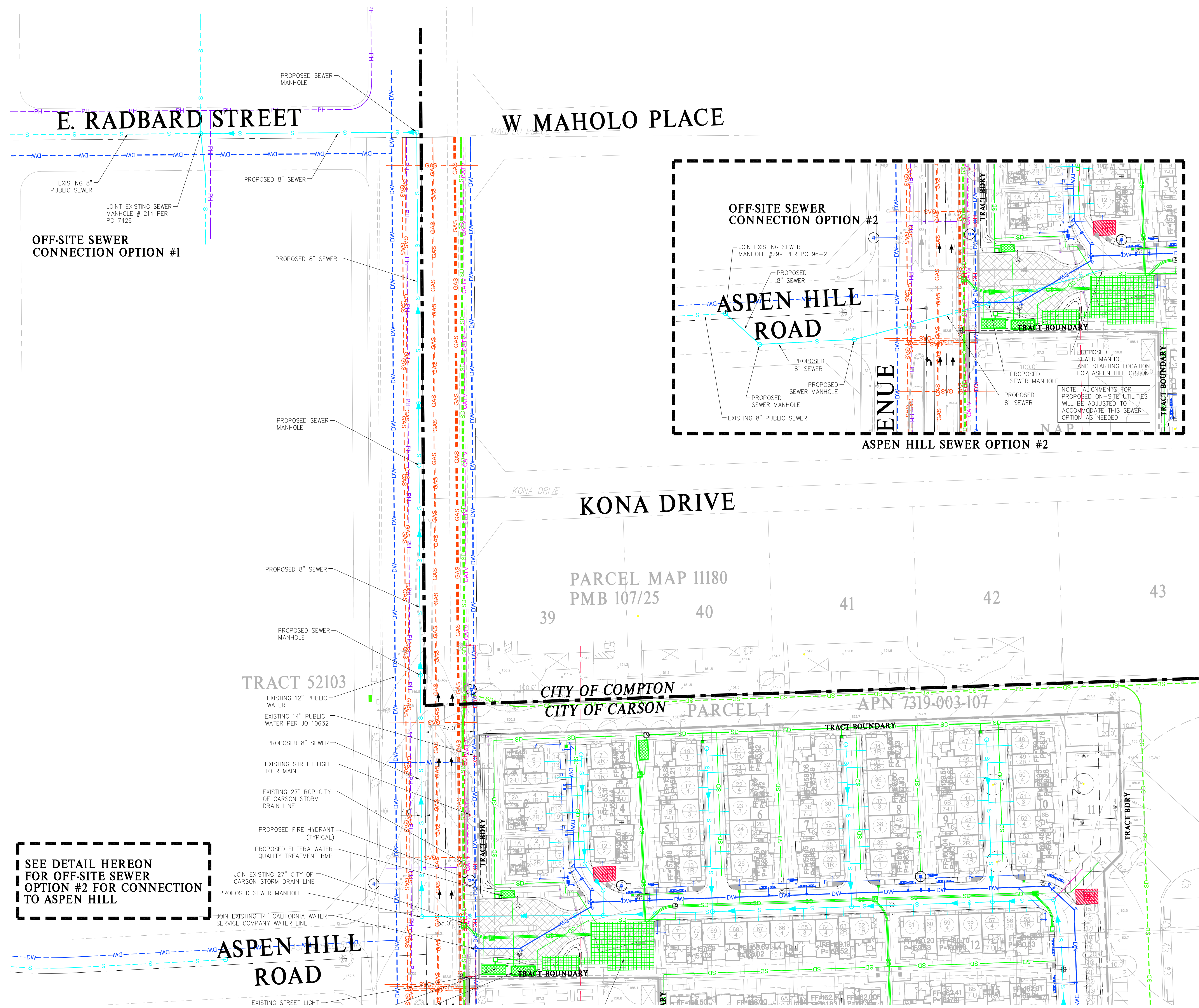
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SEE DETAIL HEREON FOR OFF-SITE SEWER OPTION #2 FOR CONNECTION TO ASPEN HILL

SEE SHEET 7 FOR ON-SITE SEWER SYSTEM

STORM WATER DETENTION NOTES

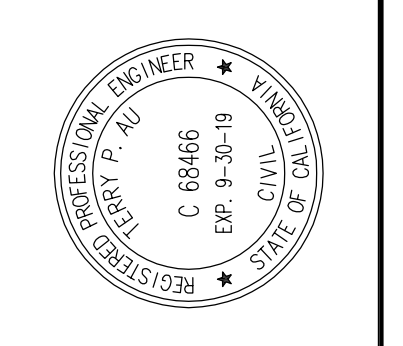
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NO.	DATE	REVISIONS
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6		
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2		
1		



URBAN RESOURCE
CONSULTING CIVIL ENGINEERS
23 HAVANE CA 90240
PHONE: 949-999-5715
FAX: 949-727-9098



INTEGRAL COMMUNITIES
888 SAN CLEMENTE SUITE 100
NEWPORT BEACH, CA 92640
PHONE: 949-999-5715
FAX: 949-727-9098

VESTING TENTATIVE TRACT MAP NO. 78226
CONDITIONAL USE PERMIT-SITE PLAN
PRELIMINARY UTILITIES
CITY OF CARSON
COMMUNITY DEVELOPMENT DEPARTMENT

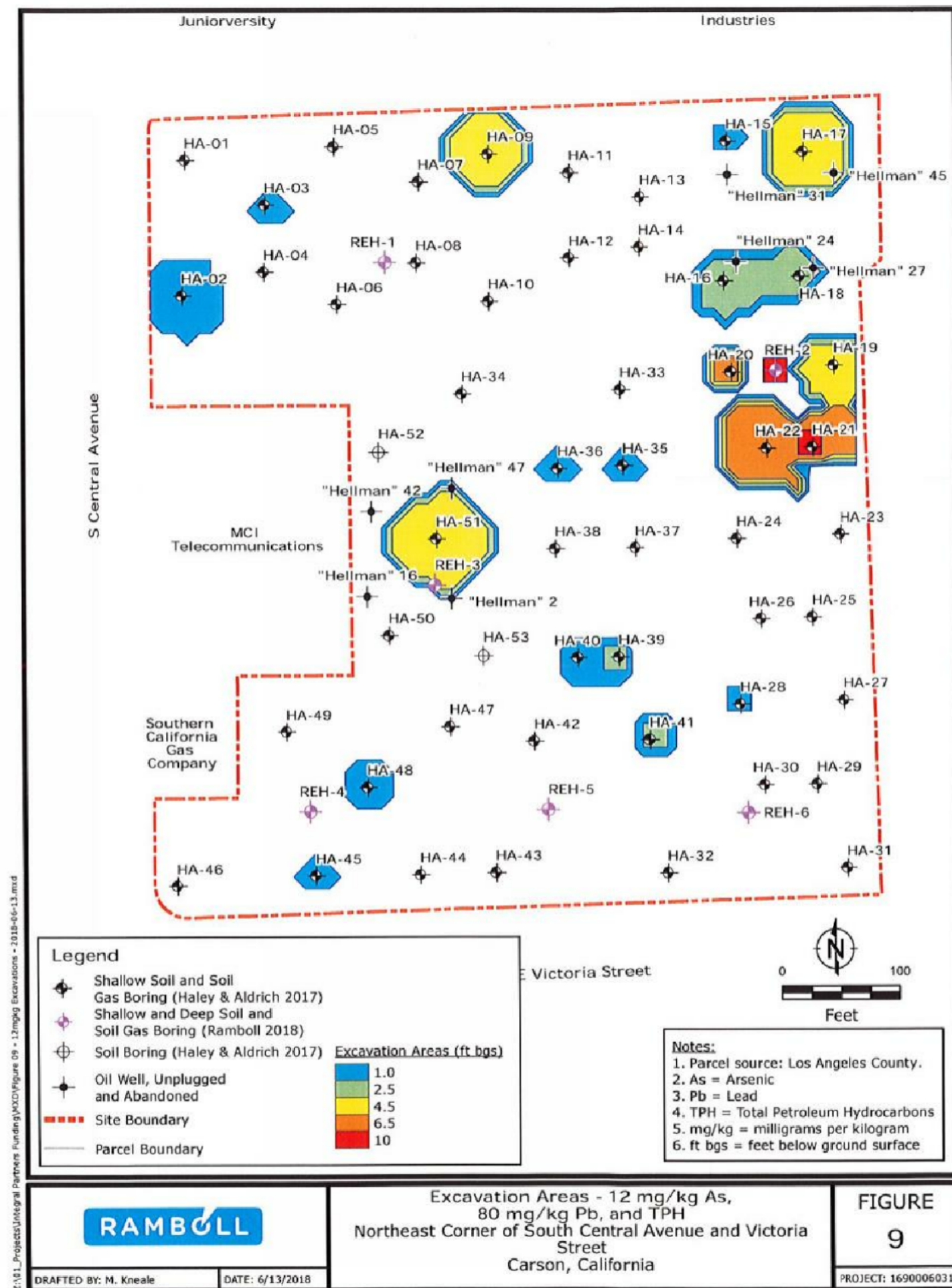
PLAN SET: J
DATE: 6-12-19
JOB NO. 316.698

CONDITIONAL USE PERMIT
FILE CASE # **CUP 1040-18**

LEGEND

- BOUNDARY
- RIGHT-OF-WAY
- EXISTING LOT LINE
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- EXISTING EASEMENT
- ROUGH GRADE PAD LINE
- 6 NUMBERED LOT
- P=158.53 PAD ELEVATION
- RETAINING WALLS

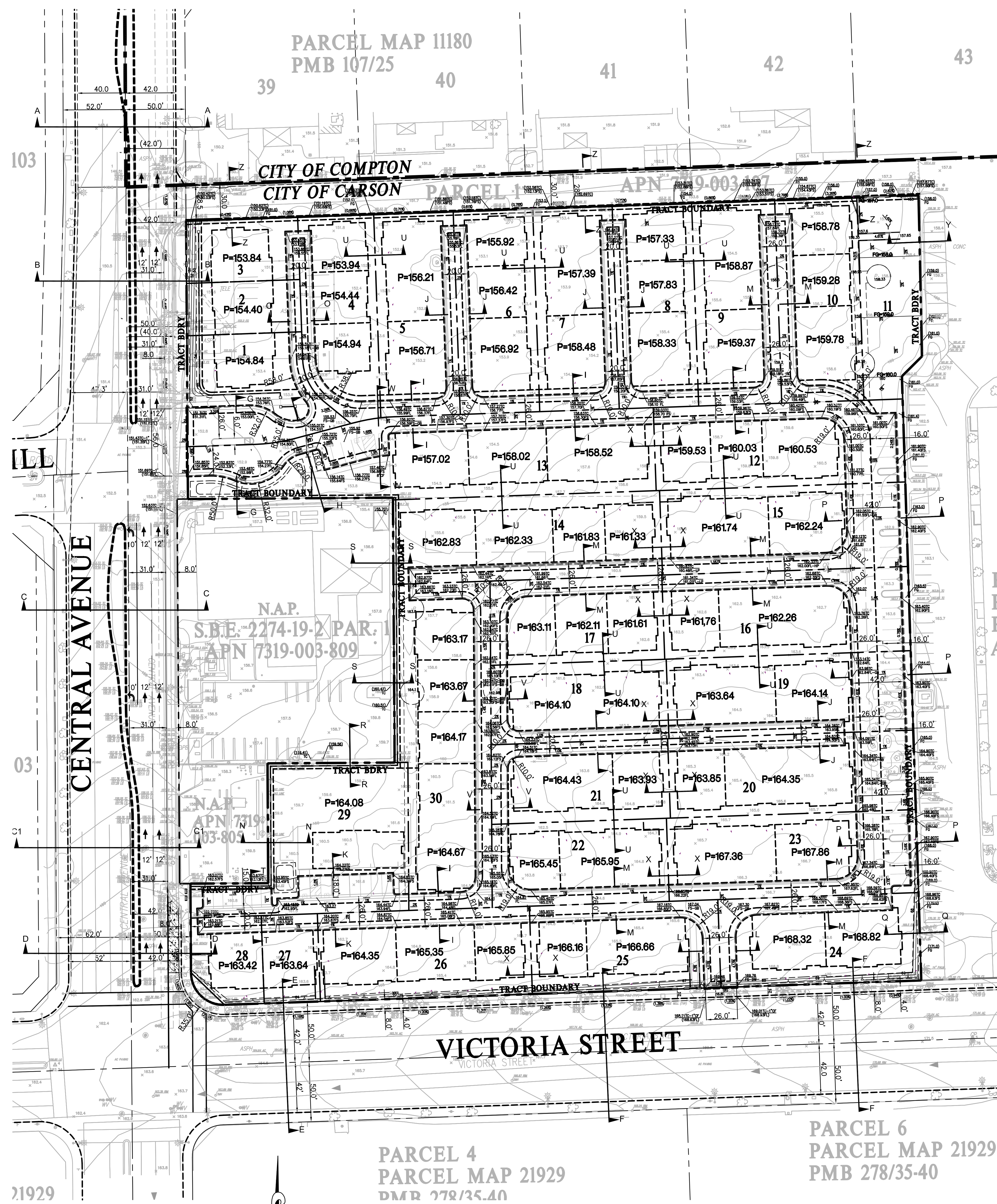
SEE SHEET 3 - 5 FOR TYPICAL STREET SECTIONS



CARSON INTEGRAL ROUGH GRADING EARTHWORK ANALYSIS PRELIMINARY - TTM 10-14-18

OVERALL PROJECT EARTHWORK ANALYSIS AREA/DESCRIPTION	UNIT	CUT	FILL
MASS EXCAVATION AREA (SQUARE FEET)	SF	88,763	261,371
RAW CUT/FILL EARTHWORK			
UNCLASSIFIED EARTHWORK	CY	20,774	6,100
RAP EXCAVATION AND SOIL REMOVAL	CY	3,463	6,100
REMEDIAL / OVER-EXCAVATION			
DEPTH AND AREA PER GEOTECH BELOW EQ	CY	56,169	56,169
RAP EXCAVATION ADJUSTMENT	CY	-6,100	0
GROSS TOTAL	CY	53,532	83,043
GROSS IMPORT	CY	29,511	0
0.1" SUBSIDENCE*	CY	329	968
SUBTOTAL	CY	53,203	84,011
SHRINKAGE (10%)*	CY	0	9,335
TOTAL NET EARTHWORK	CY	53,203	93,346
TOTAL GROSS IMPORT	CY	0	40,144
TOTAL NET IMPORT	CY	0	40,144
BUILDING FOOTINGS EXCAVATION	CY	4,400	0
PERIMETER WALL FOOTINGS EXCAVATION	CY	1,050	0
GARAGE PAD CUTS	CY	2,800	0
UTILITY TRENCH SPOILS	CY	2,000	0
TREE SPOILS	CY	1,000	0
POST ROUGH GRADE EARTHWORK/EXPORT	CY	11,950	0
NET EARTHWORK	CY	0	29,062

* ESTIMATES ONLY - FINAL DESIGNS REQUIRED



EARTHWORK ANALYSIS SUMMARY

COLOR	EARTHWORK CUT(-) / FILL(+)	AREA (SF)
Red	-5' to -2'	13,238
Orange	-2' to 0'	75,525
Yellow	0' to +2'	138,854
Green	+2' to +8'	122,517

REMEDIAL ACTION PLAN EXCAVATION AREAS

FIGURE 9 PER THE REVISED REMEDIAL ACTION PLAN FOR IMPACTED SOIL REMOVAL DATED AUGUST 2018 AS PREPARED BY RAMBOLL. (6100 CY OF SOIL REMEDIATION / REMOVAL)

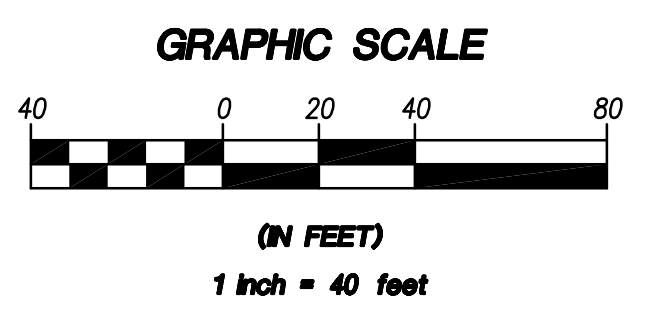


EARTHWORK CUT / FILL MAP

URBAN RESOURCE
CONSULTING CIVIL ENGINEERS

23 MAUCHLY, SUITE 110
IRVINE, CA 92618
PHONE: 949-727-9095
FAX: 949-727-9098

VICTORIA GREENS
VTTM 78226
EARTHWORKS EXHIBIT
OCTOBER 12, 2018



REVISIONS

NO.	DATE
7	
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3	
2	
1	

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VESTING TENTATIVE TRACT MAP NO. 78226
CONDITIONAL USE PERMIT-SITE PLAN
GRADING EXHIBIT

CITY OF CARSON
COMMUNITY DEVELOPMENT DEPARTMENT

PLAN SET: J
DATE: 6-12-19

CONDITIONAL USE PERMIT
FILE CASE # **CUP 1040-18**

SHEET 8 OF 13

JOB NO. 316.698



PLAN CONTROL
INTEGRAL

LEGEND

-  EXISTING PUBLIC STREET AND/OR FIRE LANE
-  PROPOSED PRIVATE DRIVEWAY / FIRE LANE (WIDTH PER PLAN)

GENERAL NOTES:

ALL PRIVATE DRIVEWAYS AND FIRE LANES AS NOTED HERE ON ARE DESIGNATED "NO PARKING FIRE LANE" AS REQUIRED BY COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATIONS. PARKING IS PERMITTED IN DESIGNATED PARKING STALLS ONLY. FIRE LANES WILL BE SIGNED OR MARKED RED CURBS AS REQUIRED.

-  **PR. FH** PROPOSED FIRE HYDRANT
-  **EX. FH** EXISTING FIRE HYDRANT

FIRE HYDRANT INFO:

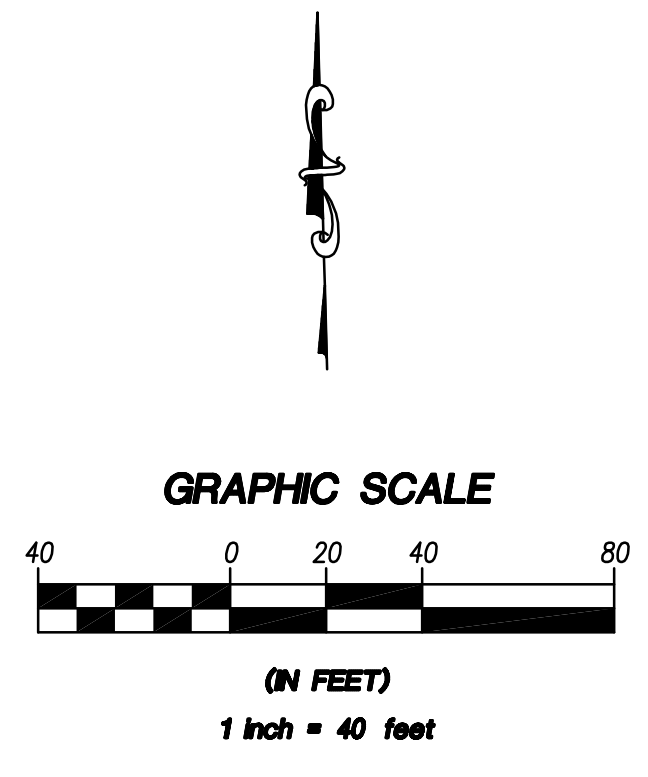
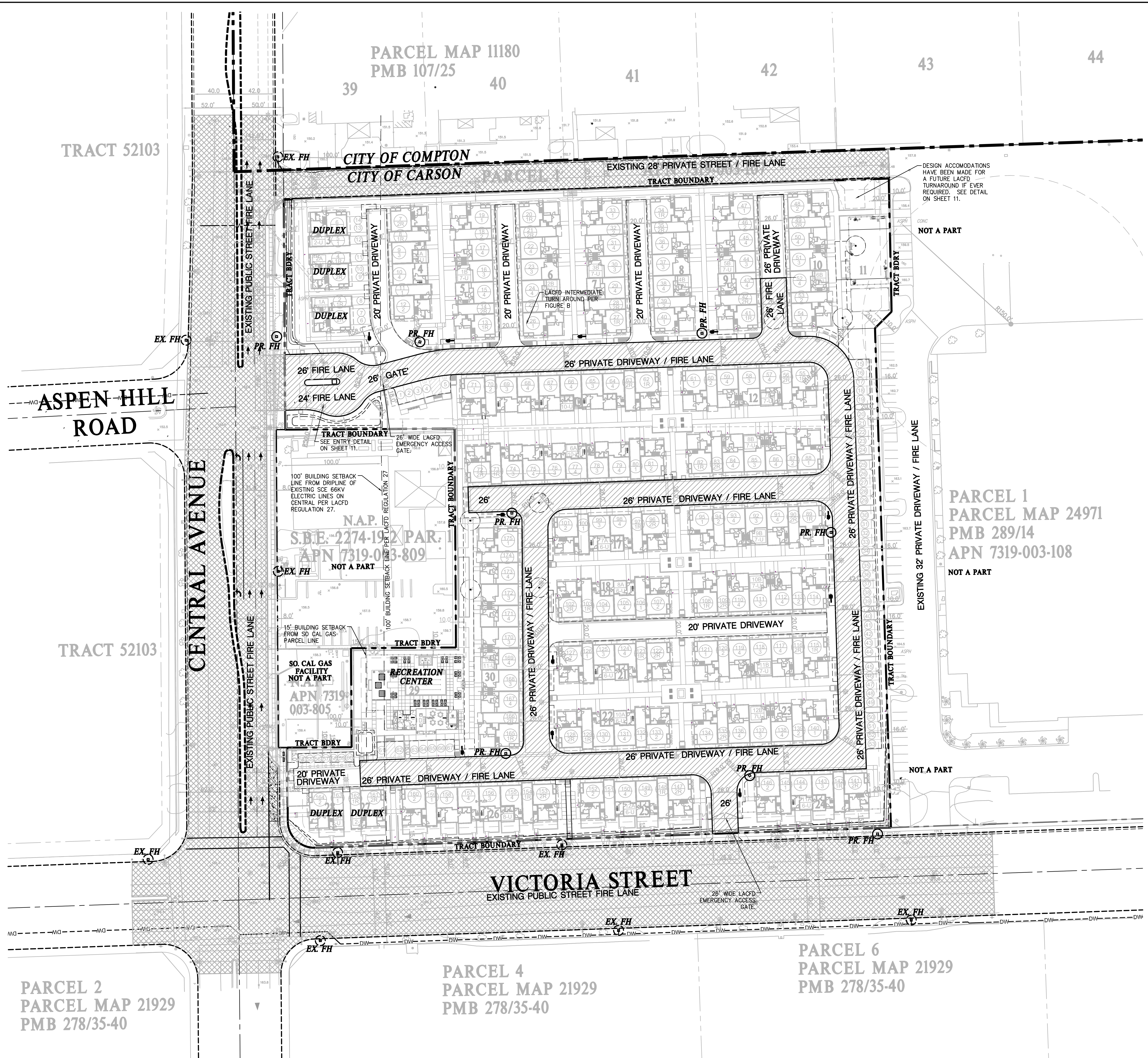
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ALL REQUIRED PRIVATE ON-SITE FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND APPROVED PRIOR TO BUILDING OCCUPANCY. FIRE CODE 901.5.1

PROPOSED PROJECT IS FOR FULLY SPRINKLERED MULTI-FAMILY STRUCTURES AND ON-SITE HYDRANTS ARE INSTALLED A MINIMUM OF 10 FEET FROM THE STRUCTURE.



<p>URBAN RESOURCE CONSULTING CIVIL ENGINEERS 23 HAVANE CA 90248 PHONE: 949-727-9095 FAX: 949-727-9098</p> <p>INTEGRAL COMMUNITIES 888 SAN CLAYTON BLVD SUITE 100 NEWPORT BEACH, CA 92660 PHONE: 949-999-5715 FAX: 949-726-3615</p> <p>VESTING TENTATIVE TRACT MAP NO. 78226 CONDITIONAL USE PERMIT-SITE PLAN FIRE LANE INDEX MAP</p>	<p>CITY OF CARSON COMMUNITY DEVELOPMENT DEPARTMENT</p> <p>PLAN SET: J DATE: 6-12-19</p> <p>JOB NO. 316.698</p>
<p>CONDITIONAL USE PERMIT FILE CASE # CUP 1040-18</p>	
<p>SHEET 9 OF 13</p>	

NO.	DATE	REVISIONS
7		
6		
5		
4		
3		
2		
1		

LEGEND

- TRACT BOUNDARY
- - - INDICATES LACFD REQUIRED TURNING RADI PER DETAIL ON SHEET
- OCFA HOSE PULL REQUIREMENT (150' MAX)
- STR STAIR ACCESS AT GROUND LEVEL (ROOF ACCESS STAIR LOCATION NOTED ON PLAN)
- EL ELEVATOR ACCESS AT GROUND LEVEL (EMERGENCY ELEVATOR LOCATIONS NOTED ON PLAN)
- FIRE LADDER LOCATION (SEE SHEET 9 FOR TYPICAL LADDERS DETAIL) (WALKABLE SURFACE PROVIDED AT ALL FIRE LADDER LOCATIONS)
- EXISTING FIRE LANE / PUBLIC STREET
- PROPOSED ON-SITE FIRE LANE
- DDC DOUBLE DETECTOR CHECK ASSY.
- BLUE DOT REFLECTIVE HYDRANT MARKER PER OCFA STANDARDS 6 INCHES FROM CENTER LINE
- POST MOUNTED FIRE SIGN LOCATION
- KNOX BOX WITH MASTER KEY LOCATION, WALKABLE SURFACE ARE PROVIDED TO ALL OPENINGS/DOORS / GATES. SHOWN AT ALL ACCESSIBLE DOORS / GATES ON PLAN.
- UNOBSTRUCTED CLASS I STANDPIPE HOSE VALVE WALL MOUNTED (REFERENCE SIGNAGE AT BUILDING FOR LOCATION)
- PROPOSED FIRE HYDRANT
- EX.FH EXISTING FIRE HYDRANT
- FDC FIRE DEPT. CONNECTION (INCLUDES SIGN NOTING THAT FDC SERVES INTERIOR CLASS I STANDPIPE HOSE VALVE WALL MOUNTED)

PLACEMENT OF BUILDING IDENTIFICATION NUMBERS (ADDRESSES)

● BUILDING IDENTIFICATION SIGN
 12345 BUILDING IDENTIFICATION SIGNAGE EXAMPLE 6" HIGH MINIMUM LETTERS

PLACEMENT OF UNIT ADDRESS NUMBERS

UNIT IDENTIFICATION SIGN

NOTES:
 BUILDING NUMBERS ATTACHED TO BUILDING IN CONTRASTING COLOR PER OCFA SPECIFICATIONS
 MINOR ADJUSTMENTS SHALL BE ALLOWED IN THE FIELD. HOWEVER, THE ADDRESSING SHALL REMAIN VISIBLE PER ADOPTED OCFA ORDINANCE.
 BUILDING ADDRESSES SHALL BE ON ALL SIDES OF THE BUILDINGS. FOR SIDES THAT ARE NOT THE ADDRESSED STREET, THE ADDRESS SIGN MUST INCLUDE THE ADDRESS NUMBER AND STREET NAME.

GENERAL NOTES:

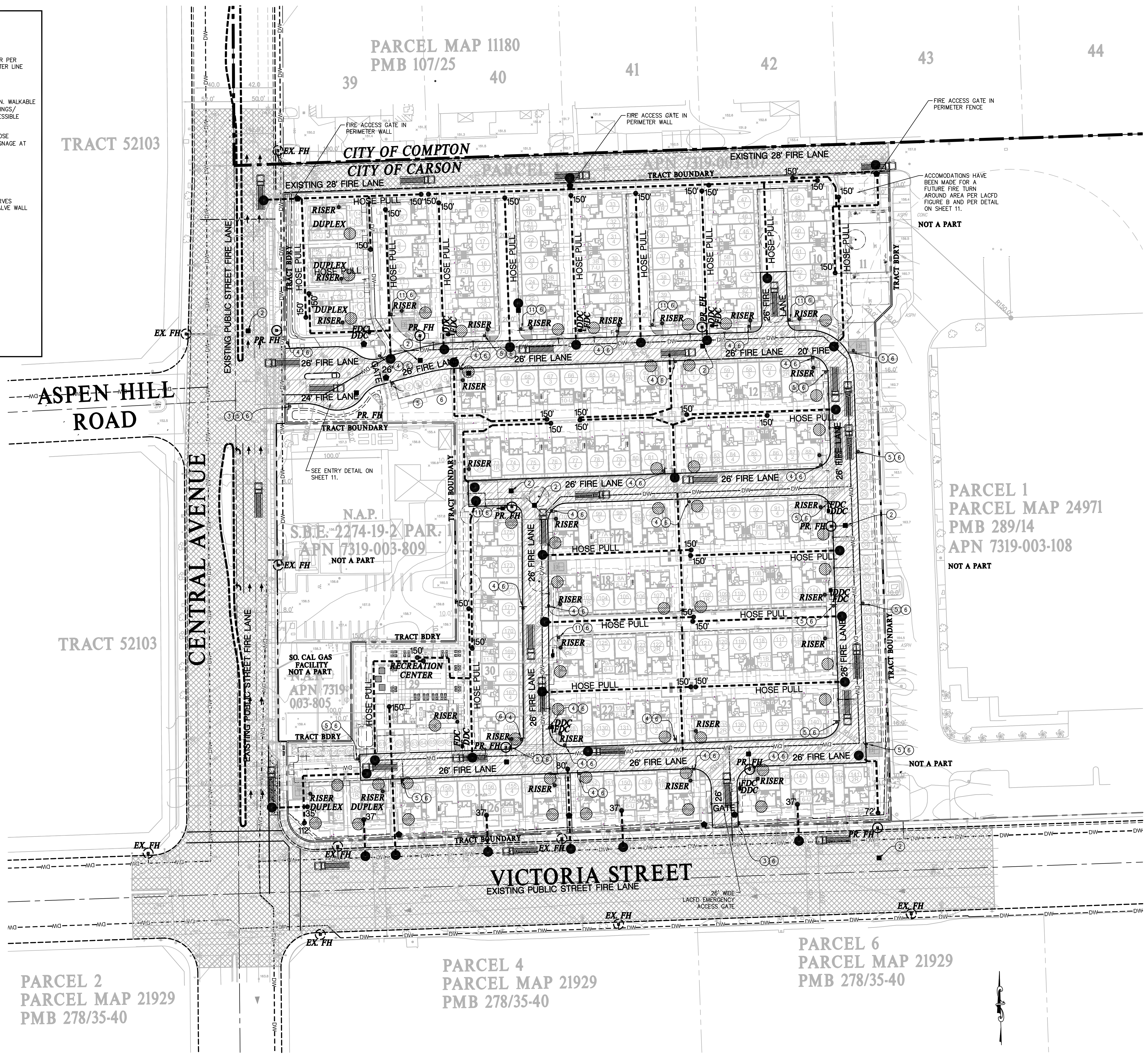
- FINAL APPROVAL IS SUBJECT TO ACTUAL FIELD ACCEPTANCE TESTING UTILIZING LACFD FIRE APPARATUS.
- POOL CHEMICAL STORAGE WILL BE LOCATED IN STORAGE ROOMS WITHIN THE RECREATION BUILDING.
- CC&R'S SHALL RECORD ALL FIRE MASTER PLAN REQUIREMENTS AND SHALL BE VERIFIED BY LACFD PRIOR TO OCCUPATION.
- NO EXTERNAL TRASH ENCLOSURES ON SITE. INDIVIDUAL TRASH BIN COLLECTION PER UNIT.
- ALL GATES, FENCES & PLANTERS ARE SHOWN ON PLAN.
- FIRE LANE GATES INCLUDE CLICK TO ENTER SYSTEM.
- OFFICIAL FIRE MASTER PLAN WILL BE SUBMITTED FOR APPROVAL PER LACFD REQUIREMENTS.

FIRE HYDRANT INFO:

REQUIRED FIRE FLOW FOR THE PROPOSED DEVELOPMENT IS 2,125 GPM AT 20 PSI RESIDUAL PRESSURE FOR THE DURATION OF 2 HOURS. 2 PUBLIC FIRE HYDRANTS FLOWING SIMULTANEOUSLY MAY BE USED TO ACHIEVE THE REQUIRED FIRE FLOW. FIRE CODE 507.3 AND APPENDIX B105.1.
 2 NEW PUBLIC FIRE HYDRANTS. (ONE ON VICTORIA STREET AND ONE ON CENTRAL AVENUE)
 6"x4"x2-1/2" BRASS OR BRONZE HYDRANT, CONFORMING TO CURRENT AWWA STANDARD C503 OR APPROVED EQUAL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE COUN OF LOS ANGELES FIRE CODE. ALL REQUIRED PUBLIC FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND ACCEPTED PRIOR TO BEGINNING CONSTRUCTION. FIRE CODE 501.4.
 6 NEW ON-SITE FIRE HYDRANTS.
 6"x4"x2-1/2" BRASS OR BRONZE HYDRANT, CONFORMING TO CURRENT AWWA STANDARD C503 OR APPROVED EQUAL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE COUN OF LOS ANGELES FIRE CODE. ALL REQUIRED PUBLIC FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND ACCEPTED PRIOR TO BEGINNING CONSTRUCTION. FIRE CODE 501.4.
 ALL REQUIRED PRIVATE ON-SITE FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND APPROVED PRIOR TO BUILDING OCCUPANCY. FIRE CODE 901.5.1
 PROPOSED PROJECT IS FOR FULLY SPRINKLERED MULTI-FAMILY STRUCTURES AND ON-SITE HYDRANTS ARE INSTALLED A MINIMUM OF 10 FEET FROM THE STRUCTURE.

CONSTRUCTION NOTES:

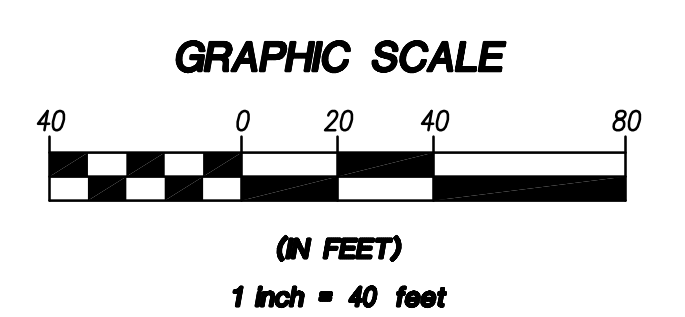
- PAIN RED CURB PER DETAIL CITY OF CARSON AND LACFD STANDARDS PER DETAIL ON SHEET 12
- INSTALL BLUE DOT REFLECTIVE HYDRANT MARKER
- INSTALL FIRE LANE ENTRANCE SIGN PER DETAIL ON SHEET 12
- INSTALL FIRE LANE SIGN PER DETAIL ON SHEET 12
- INSTALL FIRE LANE SIGN PER DETAIL ON SHEET 12
- INSTALL FIRE LANE SIGN PER DETAIL ON SHEET 12
- INSTALL CLASS I STANDPIPE HOSE VALVE WALL MOUNTED PER BUILDING PLUMBING PLANS AND DEFERRED FIRE SYSTEM PLAN
- INSTALL REMOTE FIRE DEPARTMENT CONNECTION (FDC) PER UNDERGROUND FIRE LINE PLAN AND DEFERRED FIRE SYSTEM PLAN
- INSTALL DOUBLE DETECTOR CHECK ASSEMBLY PER IRWD WATER IMPROVEMENT PLANS
- BUILDING FIRE RISER LOCATION AND POINT OF CONNECTION
- INSTALL FIRE LANE SIGN: "NO PARKING BEYOND THIS POINT EXCEPT"



PARCEL 2
 PARCEL MAP 21929
 PMB 278/35-40

PARCEL 4
 PARCEL MAP 21929
 PMB 278/35-40

PARCEL 6
 PARCEL MAP 21929
 PMB 278/35-40



 URBAN RESOURCE CONSULTING CIVIL ENGINEERS 23 HAYWARD STREET, SUITE 100 HAYWARD, CA 94501 PHONE: 949-999-5715 FAX: 949-727-9095	
INTEGRAL COMMUNITIES 888 SAN CLAY STREET, SUITE 100 NEWPORT BEACH, CA 92660 PHONE: 949-999-5715 FAX: 949-727-9095	
VESTING TENTATIVE TRACT MAP NO. 78226 CONDITIONAL USE PERMIT-SITE PLAN FIRE ACCESS EXHIBIT CITY OF CARSON COMMUNITY DEVELOPMENT DEPARTMENT	
PLAN CONTROL INTEGRAL	PLAN SET: J DATE: 6-12-19
SHEET 10 OF 13	JOB NO. 19-098 FILE CASE # CUP 1040-18 NO. DATE 7 5 4 3 2 1

GENERAL FIRE AUTHORITY NOTES
INSPECTION REQUIREMENTS

- LACFD SITE INSPECTIONS ARE REQUIRED FOR THIS PROJECT. PLEASE SCHEDULE ALL FIELD INSPECTIONS AT LEAST 48 HOURS IN ADVANCE. INSPECTIONS CANCELED AFTER 1 P.M. ON THE DAY BEFORE THE SCHEDULED DATE WILL BE SUBJECT TO A RE-INSPECTION FEE. CALL LACFD INSPECTION SCHEDULING.
- A LUMBER DROP INSPECTION SHALL BE PERFORMED PRIOR TO BRINGING COMBUSTIBLE MATERIALS (OR COMBUSTIBLE FIXTURES AND FINISHES FOR STRUCTURES OF NON-COMBUSTIBLE CONSTRUCTION). ALL-WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 75,000 LBS., TOPPED WITH ASPHALT, CONCRETE, OR EQUIVALENT SHALL BE IN PLACE AND HYDRANTS OPERATIONAL AT TIME OF LUMBER DROP INSPECTION.
- FOR PROJECTS WITH FUEL MODIFICATION, A VEGETATION CLEARANCE INSPECTION IS REQUIRED PRIOR TO A LUMBER DROP INSPECTION. USE THE FUEL MODIFICATION PLAN SERVICE REQUEST NUMBER TO SCHEDULE THE VEGETATION CLEARANCE INSPECTION.
- PHASED INSTALLATION OF FIRE ACCESS ROADS REQUIRES ADDITIONAL INSPECTIONS NOT COVERED BY THE FEES PAID AT PLAN SUBMITTAL. CONTACT INSPECTION SCHEDULING TO ARRANGE FOR ADDITIONAL INSPECTIONS THAT MAY BE NEEDED AND ANY FEES THAT MAY BE DUE.
- AN ORIGINAL APPROVED, SIGNED, WET-STAMPED LACFD FIRE MASTER PLAN SHALL BE AVAILABLE ON-SITE AT TIME OF INSPECTION.
- ACCESS ROADS AND HYDRANTS SHALL BE MAINTAINED AND REMAIN CLEAR OF OBSTRUCTIONS AT ALL TIMES DURING AND AFTER CONSTRUCTION. AREAS WHERE PARKING IS NOT PERMITTED SHALL BE CLEARLY IDENTIFIED AT ALL TIMES.
- TEMPORARY FUEL TANKS OF 60 OR MORE GALLONS SHALL BE REVIEWED, INSPECTED, AND PERMITTED BY THE LACFD PRIOR TO USE.
- THE PROJECT ADDRESS SHALL BE CLEARLY POSTED AND VISIBLE FROM THE PUBLIC ROAD DURING CONSTRUCTION.
- ALL GATES IN CONSTRUCTION FENCING SHALL BE EQUIPPED WITH EITHER A KNOX OR BREAKAWAY PADLOCK.
- BUILDINGS OF FOUR OR MORE STORIES SHALL BE PROVIDED WITH STAIRS AND A STANDPIPE BEFORE REACHING 40 FEET IN HEIGHT.

GENERAL REQUIREMENTS

- FIRE LANE WIDTHS SHALL BE MEASURED FROM TOP FACE OF THE CURB TO TOP FACE OF THE CURB FOR FIRE LANES WITH STANDARD CURBS AND GUTTERS AND FROM FLOW-LINE TO FLOW-LINE FOR FIRE LANES WITH MODIFIED CURB DESIGNS (E.G. ROLLED, RAMMED, ETC.). THE DEVELOPER IS RESPONSIBLE TO VERIFY THAT ALL APPROVED PUBLIC WORKS OR GRADING DEPARTMENT STREET IMPROVEMENT PLANS OR PRECISE GRADING PLANS CONFORM TO THE MINIMUM STREET WIDTH MEASUREMENTS PER THE APPROVED LACFD FIRE MASTER PLAN AND STANDARDS. 1
- PERMANENT, TEMPORARY, AND PHASED EMERGENCY ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF 68,000 LBS. AND SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
- FIRE LANE SIGNS AND RED CURBS SHALL MEET THE SPECIFICATIONS SHOWN IN LACFD STANDARDS AND SHALL BE INSTALLED, AS DESCRIBED THEREIN. ADDITIONAL FIRE LANE MARKINGS MAY BE REQUIRED AT THE TIME OF INSPECTION DEPENDING ON FIELD CONDITIONS.
- ALL FIRE HYDRANTS SHALL HAVE A "BLUE REFLECTIVE PAVEMENT MARKER" INDICATING THEIR LOCATION PER THE OCA STANDARD. ON PRIVATE PROPERTY MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER.
- ADDRESS NUMBERS SHALL BE LOCATED AND BE OF A COLOR AND SIZE SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ROADWAY FROM WHICH THE BUILDING IS ADDRESSED IN ACCORDANCE WITH LACFD STANDARDS. WAYFINDING SIGNS, WHEN REQUIRED BY THE LOCAL AGENCY, SHALL COMPLY WITH THE STANDARDS OF THAT AGENCY. WHEN WAYFINDING SIGNS ARE ALSO REQUIRED BY THE LACFD, THEY MAY BE DESIGNED TO LOCAL AGENCY REQUIREMENTS PROVIDED THAT SUCH STANDARDS FACILITATE LOCATION OF STRUCTURES, SUITES, AND DWELLING UNITS BY EMERGENCY PERSONNEL.
- ACCESS GATES SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE IN COMPLIANCE WITH CHAPTER 5 OF THE CFC.
- APPROVED ACCESS WALKWAYS SHALL BE PROVIDED TO ALL REQUIRED OPENINGS AND ALL RESCUE WINDOWS.
- VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS, OR STROBES.
- DUMPSTERS AND TRASH CONTAINERS LARGER THAN 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM.
- ANY FUTURE MODIFICATION TO THE APPROVED FIRE MASTER PLAN OR APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO ROAD WIDTH, GRADE, SPEED HUMPS, TURNING RADII, GATES OR OTHER OBSTRUCTIONS, SHALL REQUIRE REVIEW, INSPECTION, AND APPROVAL BY THE LACFD.
- APPROVAL OF THIS PLAN SHALL NOT BE CONSTRUED AS APPROVAL OF ANY INFORMATION OR PROJECT CONDITIONS OTHER THAN THOSE ITEMS AND REQUIREMENTS IDENTIFIED IN LACFD GUIDELINES AND RELATED PORTIONS OF THE CFC AND CBC. THIS PROJECT MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS NOT STATED HEREIN UPON EXAMINATION OF ACTUAL SITE AND PROJECT CONDITIONS OR DISCLOSURE OF ADDITIONAL INFORMATION.

PROJECT SPECIFIC REQUIREMENTS

- AN UNDERGROUND PIPING IS REQUIRED FOR THE INSTALLATION OF AN AUTOMATIC FIRE SPRINKLER SYSTEM OF FOR A PRIVATE FIRE HYDRANT SYSTEM. A SEPARATE PLAN SUBMITTAL IS REQUIRED.
- AN ARCHITECTURAL PLAN IS REQUIRED TO BE SUBMITTED TO THE LACFD FOR REVIEW AND APPROVAL FOR PROJECTS CONTAINING A, C, E, F, H, L, R-1, R-2, AND R-4 OCCUPANCIES.
- AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CODES AND LOCAL ORDINANCES, AMENDMENTS, AND GUIDELINES. SPRINKLER SYSTEMS OTHER THAN THOSE LISTED IN CFC 903.4, SHALL BE MONITORED BY AN APPROVED CENTRAL STATION. SEPARATE PLAN SUBMITTALS FOR THE SPRINKLER AND MONITORING SYSTEMS ARE REQUIRED.
- A FIRE ALARM SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CODES AND LOCAL ORDINANCES, AMENDMENTS, AND GUIDELINES. A SEPARATE PLAN SUBMITTAL IS REQUIRED.
- FIRE HYDRANTS SERVING THIS SITE WILL BE PUBLIC HYDRANTS MAINTAINED BY THE WATER DISTRICT.
- CURBS THROUGHOUT THE PROJECT WILL BE STANDARD 6" CURB OR 4" ROLLED CURB EXCEPT WHERE MAINTENANCE AND FIRE ACCESS POINTS ARE REQUIRED. THESE AREAS WILL HAVE DEPRESSED CURBS AND/OR ROLLED CURBS THAT MEET THE CITY OF CARSON STANDARDS.
- PLANT MATERIAL AFFECTING THE ACCESS PATH TO RESCUE WINDOWS SHALL BE CRUSHABLE AND NON-SLIPPERY.
- THE FOLLOWING PROVISION WILL BE INCLUDED IN THE POWERS AND DUTIES PORTION OF THE CCAAR: "THE ASSOCIATION SHALL MAINTAIN ALL THOSE RESCUE WINDOWS WITHIN THE PROJECT THAT ARE DESCRIBED AND DEPICTED ON THE EXHIBIT ATTACHED HERETO AND INCORPORATED BY REFERENCE, IN A SAFE AND FULLY OPERATIVE CONDITION, AS ORIGINALLY APPROVED BY THE CITY. AMONG OTHER THINGS, THE ASSOCIATION SHALL INSPECT THE RESCUE WINDOWS ON AN ANNUAL BASIS TO ENSURE THAT THE WINDOWS ARE OPERATING PROPERLY AND THAT NO BARS, STRUCTURES, LANDSCAPING, POTTED PLANTS, OR OTHER ITEMS HAVE BEEN PLACED ON OR IN FRONT OF THE RESCUE WINDOWS WHICH WOULD PREVENT THE WINDOWS TO OPERATE FOR THEIR INTENDED PURPOSE. TREES AND OTHER LANDSCAPING IN THE VICINITY OF THE RESCUE WINDOWS SHALL BE TRIMMED AND MAINTAINED SO AS NOT TO UNREASONABLY OBSTRUCT INGRESS, EGRESS, AND ACCESS THROUGH THE RESCUE WINDOWS. NO PERSON OR ENTITY SHALL REMOVE, SEAL, ALTER, OR MODIFY THE RESCUE WINDOWS IN ANY WAY WITHOUT FIRST OBTAINING THE PRIOR WRITTEN APPROVAL OF THE LACFD CITY, AND ARCHITECTURAL REVIEW COMMITTEE. NEITHER THE ASSOCIATION NOR ANY OWNER OR OTHER RESIDENT OF THE PROJECT SHALL TAKE ANY ACTION WHICH MAY OBSTRUCT EMERGENCY INGRESS, EGRESS, OR ACCESS THROUGH THE RESCUE WINDOWS IN THE EVENT OF A FIRE."

FIRE SYSTEM NOTES

- FDC CENTER-LINES ARE TO BE A CLOSE TO 36" ABOVE FINISHED ACCESS LEVEL, BUT NO LESS THAN 18" AND NO GREATER THAN 48" ABOVE FINISHED ACCESS LEVEL.
- ALL STANDPIPE COURTYARD HOSE VALVES ARE TO BE WALL-MOUNTED AS SHOWN.
- STANDPIPE COURTYARD HOSE VALVES ARE TO BE 18" TO 24" ABOVE FINISHED ACCESS LEVEL.
- POOL CHEMICAL STORAGE WILL BE LOCATED IN STORAGE ROOMS ON THE UPPER LEVEL OF THE PARKING STRUCTURES WITHIN THE POOL RECREATION DECK AREA.
- THE REQUIRED FIRE FLOW

PROPOSED LAND USE

- RESIDENTIAL BUILDINGS - 3-STORY RESIDENTIAL ON SLAB ON GRADE
- RECREATION BUILDING - 1-STORY SLAB ON GRADE

BUILDING CODE

2016 EDITION OF THE CBC AND CFC AND CALIFORNIA CODE AMENDMENTS

OCCUPANCY	CONSTRUCTION	OPENINGS AND AREA ALLOWED
RESIDENTIAL BUILDINGS R-2	TYPE VA SPRINKLERED	PER TABLE 705.8
FITNESS, CLUB ROOMS B OR A-3	TYPE VA SPRINKLERED	PER TABLE 705.8
POOL & COURTYARDS B	OPEN	

FIRE PROTECTION:
AUTOMATIC FIRE SPRINKLER SYSTEM REQUIRED THROUGHOUT FOUR STORY RESIDENTIAL. NFPA 13 SYSTEMS
FIRE RESISTANCE (RESIDENTIAL CBC TABLE 601)

STRUCTURAL FRAME	1-HOUR
FLOOR/CEILING ASSEMBLY:	1-HOUR
ROOF/CEILING ASSEMBLY:	1-HOUR
ENCLOSED STAIRWAYS:	2-HOUR
CORRIDORS:	1-HOUR
FIRE SEPARATION WALLS	3-HOUR

GENERAL FIRE DEPARTMENT NOTES

DEVELOPMENT TYPE: RESIDENTIAL CONDOMINIUMS
CONSTRUCTION TYPE: TYPE V-B, ONE HOUR
MAX BLDG HEIGHT: 30'
MAX BLDG SQ. FT.: 25,720 SQ FT (14,063 WITH USE OF FIRE WALLS)

- ED
- ALL FIRE HYDRANTS SHOWN WITHIN THIS PLAN REVIEW ARE PUBLIC
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO MEET THE IMPOSED LOADS OF 75,000 POUNDS AND SHALL BE PROVIDED WITH A SURFACE SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES (90% SUB-GRADE COMPACTION & AC PAVED (2007 CFC SECTION 902.2.2.2), AS CERTIFIED PER RCE STAMP HEREON

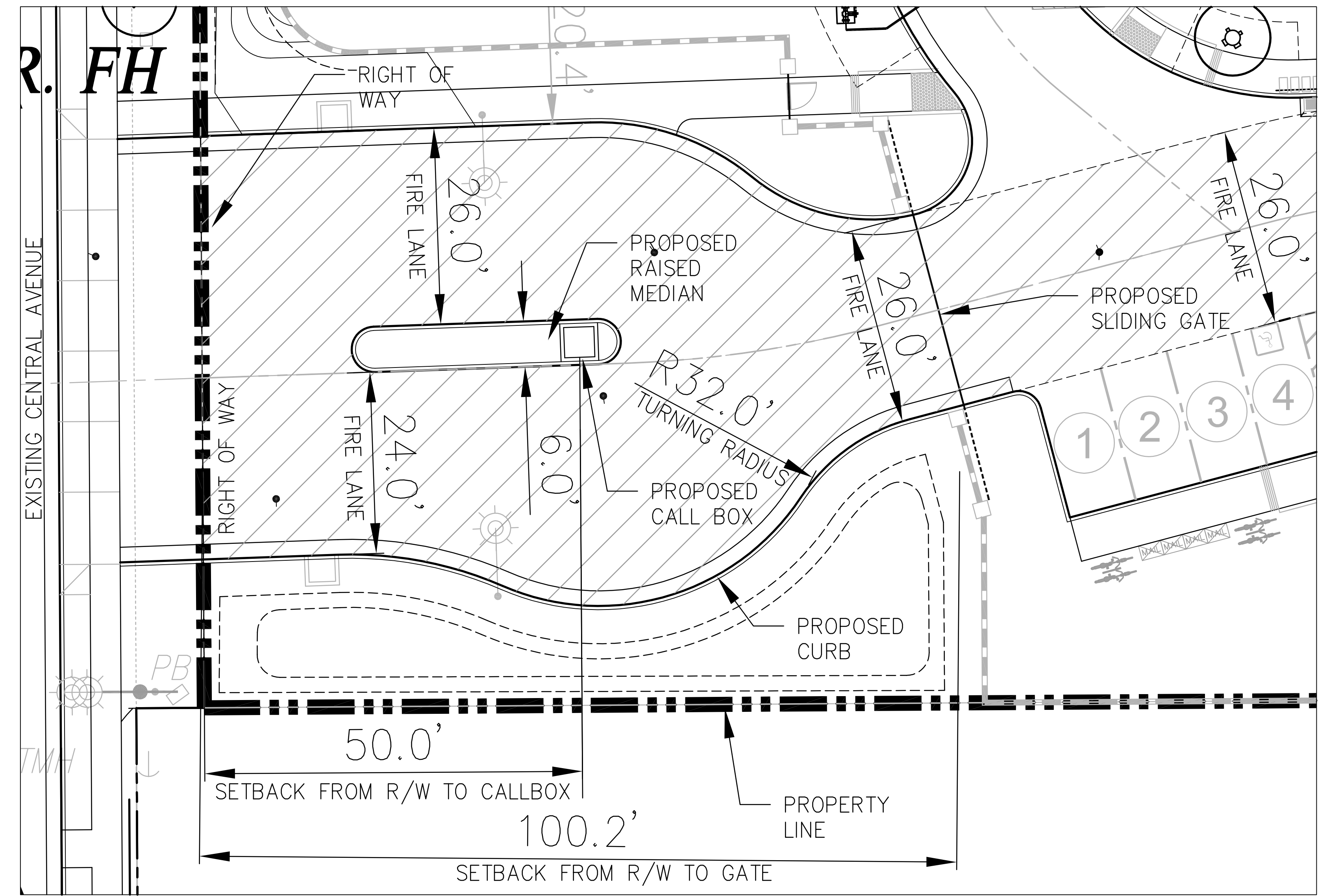
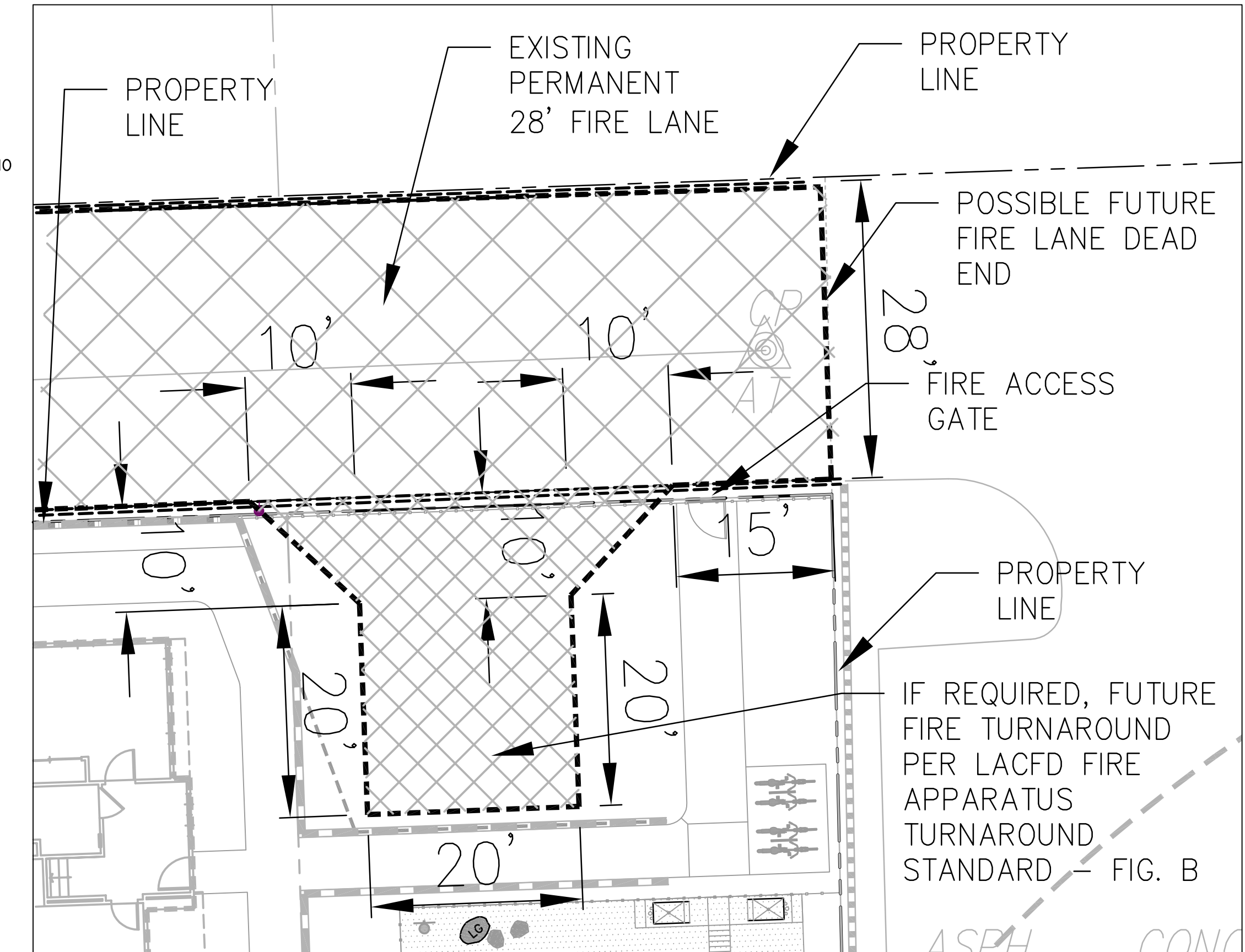
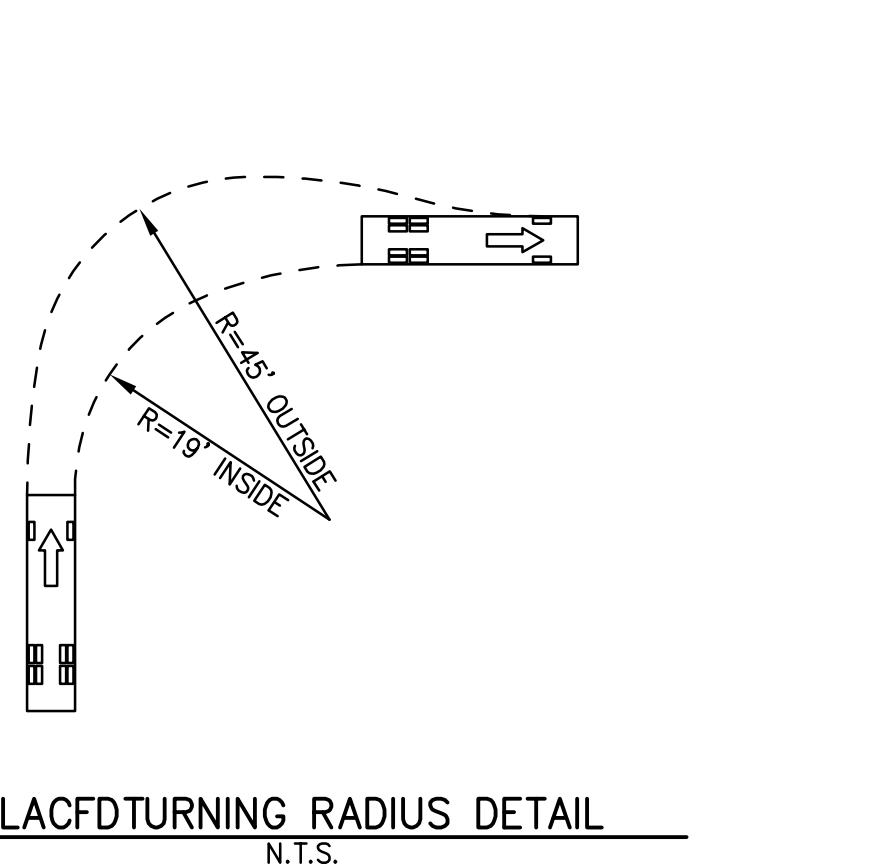
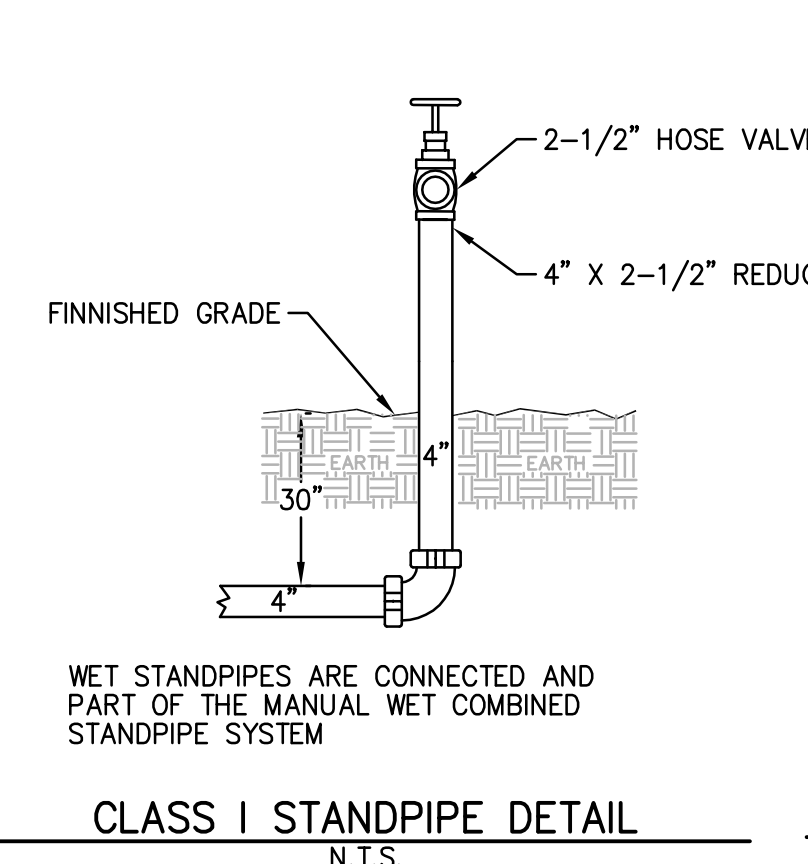
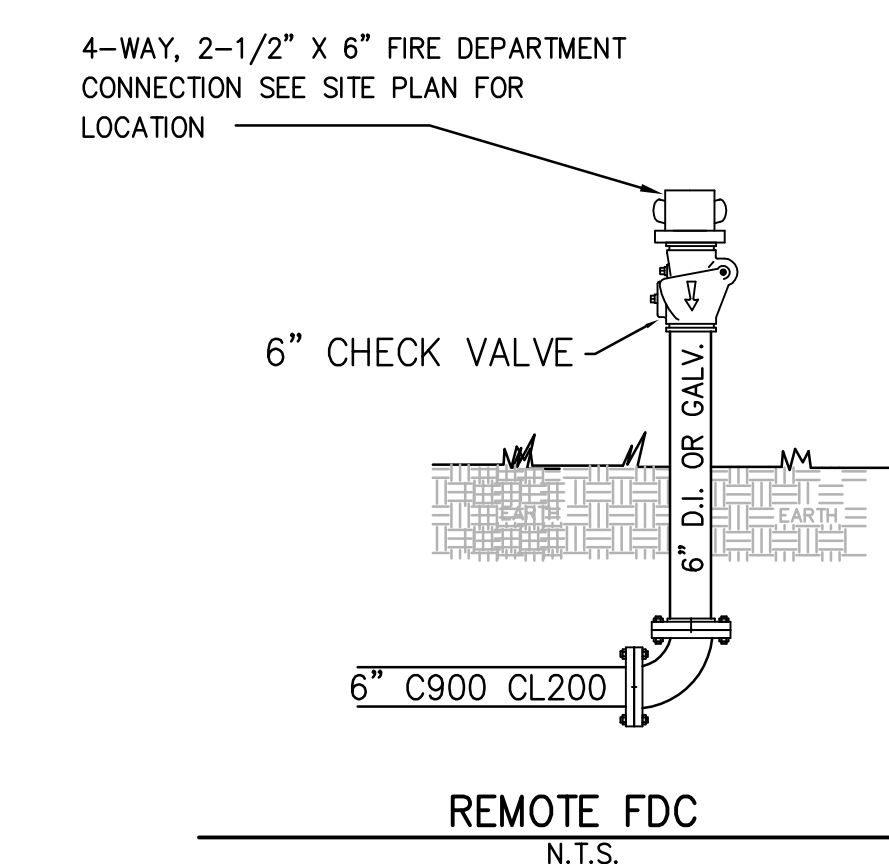
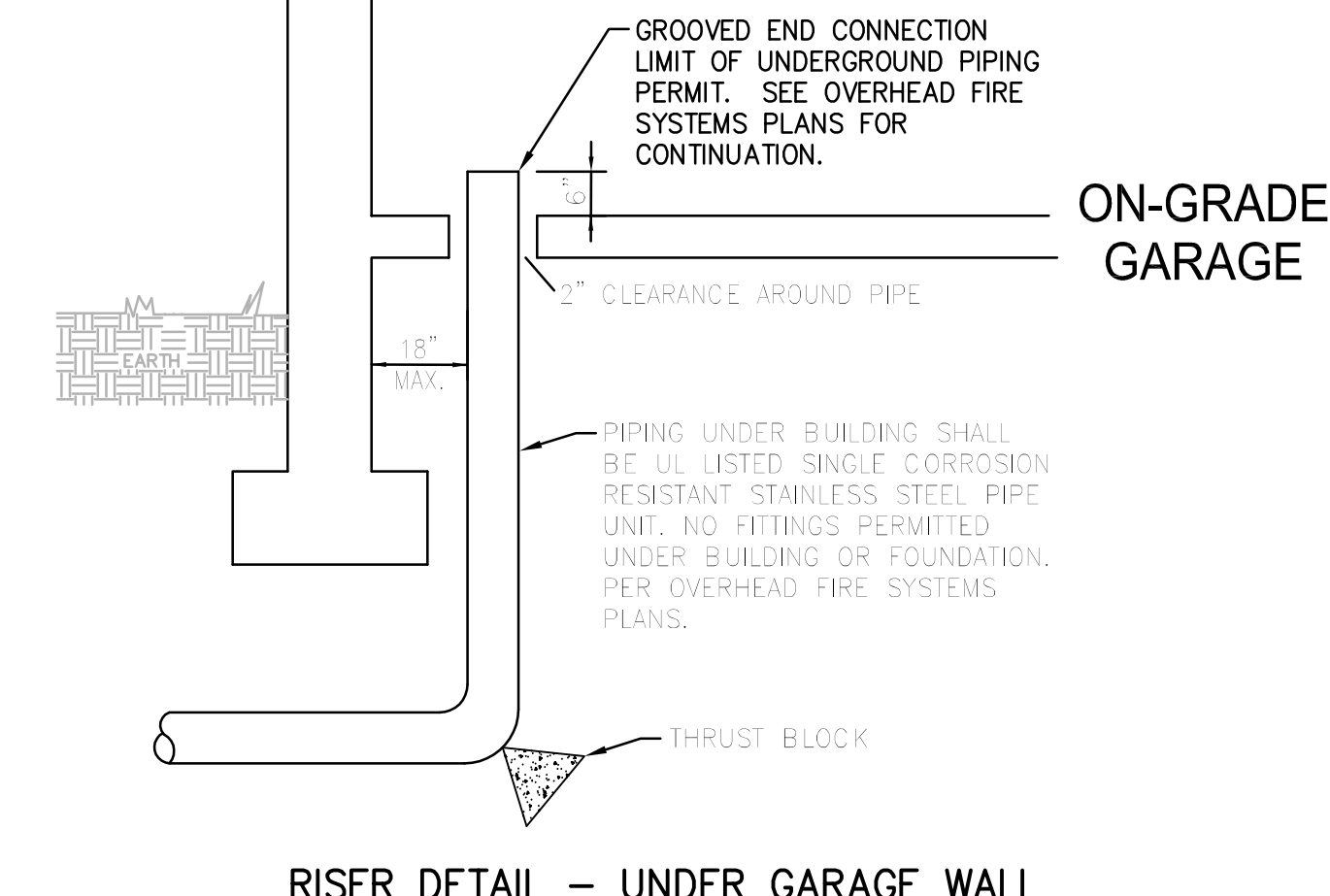
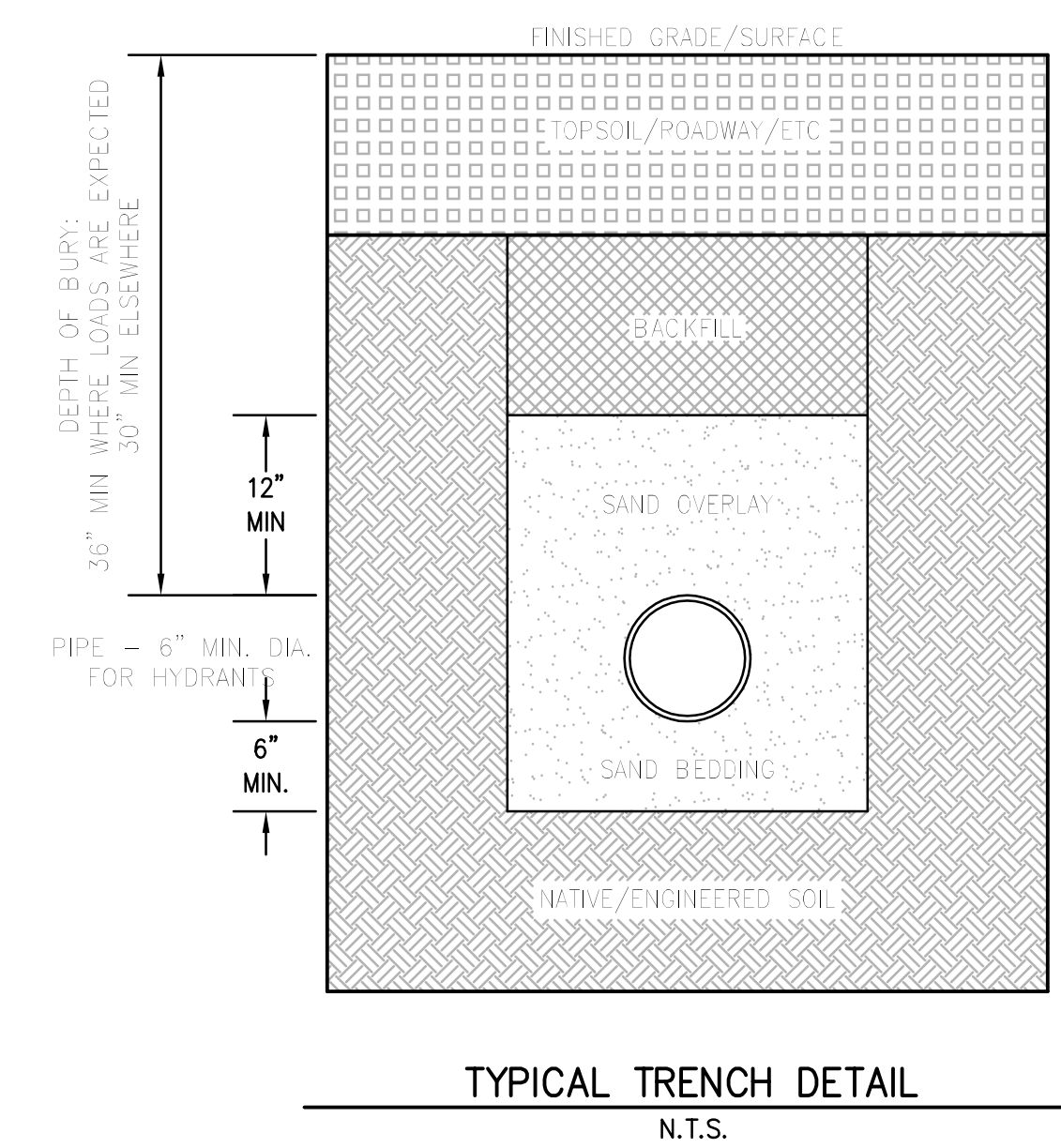
I HEREBY CERTIFY THAT ALL EMERGENCY ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF 75,000 POUNDS AND WILL HAVE A SURFACE THAT PROVIDES ALL-WEATHER DRIVING CAPABILITIES.

TERRY P. ALPHE, R.C.E. #68466 DATE 5-16-19

- ALL STREET GRADIENTS ARE LESS THAN 7%.
- THE FIRE FLOW SHALL MEET THE MINIMUM REQUIREMENTS BASED ON SQUARE FOOTAGE AND BUILDING CONSTRUCTION TYPE.
- ALL WEATHER ACCESS ROADS AND FIRE HYDRANTS SHALL BE IN PLACE AND OPERATIONAL PRIOR TO ANY COMBUSTIBLE BUILDING MATERIALS BEING BROUGHT ON-SITE AND SHALL BE PART OF THE SEPARATE FIRE MASTER PLAN REVIEW.
- PRIOR TO THE ISSUANCE OF CERTIFICATES OF USE AND OCCUPANCY, ALL FIRE HYDRANTS SHALL HAVE A BLUE REFLECTIVE PAVEMENT MARKER INDICATING ITS LOCATION ON THE STREET OR DRIVE PER THE ORANGE COUNTY FIRE AUTHORITY STANDARD AND APPROVED. ON PRIVATE PROPERTY, THESE MARKERS ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
- ON-SITE ACCESS ROADWAYS SHALL BE MARKED AS A FIRE LANE BEFORE CONSTRUCTION AND MAINTAINED BEFORE AND AFTER CONSTRUCTION IN ACCORDANCE WITH LACFD GUIDELINES FOR EMERGENCY ACCESS ROADS.
- ALL ARCHITECTURAL, UNDERGROUND FIRE FACILITY AND FIRE ALARM SYSTEMS SHALL BE UNDER A SEPARATE REVIEW AND APPROVED BY LACFD.
- THE PROJECT DOES HAVE ELECTRIC ENTRY GATES.
- THIS PROJECT MEETS ALL LACFD REQUIREMENTS FOR A 19' INSIDE TURNING RADIUS AND A 45' OUTSIDE TURNING RADIUS WITHIN THE FIRE LANES.
- MINIMUM 6" ADDRESS NUMBERING SHALL BE PROVIDED ON THE BUILDINGS & ADDRESS MONUMENT IN THE FIRE DEPARTMENT ACCESS AREAS, PROVIDED BY OTHERS.
- RED CURBING MAY BE USED IN LIEU OF FIRE LANE SIGNS PER DETAIL HEREON.

COUNTY OF LOS ANGELES FIRE DEPARTMENT
FIRE PREVENTION DIVISION NOTES

- ALL PROPOSED GATES SHALL COMPLY WITH THE COUNTY OF LOS ANGELES REGULATION #5 AND BE EQUIPPED WITH FIRE DEPARTMENT APPROVED LOCKING DEVICE. THE PROPOSED VEHICULAR GATE SHALL PROVIDE OPEN WIDTH CLEAR TO THE SKY AND UNOBSTRUCTED.
- FIRE DEPARTMENT VEHICULAR ACCESS ROADS MUST BE INSTALLED AND MAINTAINED IN A SERVICEABLE MANNER PRIOR TO AND DURING THE TIME OF CONSTRUCTION. FIRE CODE 501.4
- ALL FIRE LANES SHALL BE CLEAR OF ALL ENCROACHMENTS, AND SHALL BE MAINTAINED IN ACCORDANCE WITH TITLE 32, COUNTY OF LOS ANGELES FIRE CODE.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS HEAVING 37.5 TONS AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. FIRE APPARATUS ACCESS ROADS HAVING A GRADE OF 10 PERCENT OR GREATER SHALL HAVE A PAVED OR CONCRETE SURFACE. FIRE CODE 503.2.3
- PROJECT SHALL PROVIDE APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS "NO PARKING - FIRE LANE". SIGNS SHALL HAVE A MINIMUM DIMENSION OF 12 INCHES WIDE BY 18 INCHES HIGH AND HAVE RED LETTERS ON A WHITE REFLECTIVE BACKGROUND. SIGNS SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS, TO CLEARLY INDICATE THE ENTRANCE TO SUCH ROAD, OR PROHIBIT THE OBSTRUCTION THEREOF AND AT INTERVALS, AS REQUIRED BY THE FIRE INSPECTOR. FIRE CODE 503.3
- A MINIMUM 5 FOOT WIDE APPROVED FIREFIGHTER ACCESS WALKWAY LEADING FROM THE FIRE DEPARTMENT ACCESS ROAD TO ALL REQUIRED OPENINGS IN THE BUILDING'S EXTERIOR WALLS SHALL BE PROVIDED FOR FIREFIGHTING AND RESCUE PURPOSES. FIRE CODE 504.1
- FIRE APPARATUS ACCESS ROADS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES, OR THE USE OF TRAFFIC CALMING DEVICES, INCLUDING BUT NOT LIMITED TO, SPEED BUMPS OR SPEED HUMPS. THE MINIMUM WIDTHS AND CLEARANCES ESTABLISHED IN SECTION 503.2.1 SHALL BE MAINTAINED AT ALL TIMES. FIRE CODE 503.4
- ALL FIRE HYDRANTS SHALL MEASURE 6"x4"x2-1/2" BRASS OR BRONZE, CONFORMING TO CURRENT AWWA STANDARD C503 OR APPROVED EQUAL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT CODE.
- ALL REQUIRED PUBLIC FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND ACCEPTED PRIOR TO BEGINNING CONSTRUCTION. FIRE CODE 501.4
- AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM IS REQUIRED FOR THE PROPOSED BUILDINGS WITHIN THIS DEVELOPMENT. DESIGN PLAN SHALL BE SUBMITTED TO THE FIRE DEPARTMENT SPRINKLER PLAN CHECK UNIT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. APPROVED AUTOMATIC FIRE SPRINKLER SYSTEMS SHALL BE PROVIDED IN LOCATIONS DESCRIBED IN SECTIONS 903.2.1 THROUGH 903.2.12 OF THE COUNTY OF LOS ANGELES FIRE CODE. ALL PROPOSED STRUCTURES SHALL BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEMS THAT ARE DESIGNED AND MAINTAINED IN ACCORDANCE WITH NFPA 13.
- ALL REQUIRED PRIVATE ON-SITE FIRE HYDRANTS SHALL BE INSTALLED, TESTED, AND APPROVED PRIOR TO BUILDING OCCUPANCY. FIRE CODE 901.5.1. PLANS SHOWING UNDERGROUND PIPING FOR PRIVATE ON-SITE FIRE HYDRANTS SHALL BE SUBMITTED TO THE COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION SPRINKLER PLAN CHECK UNIT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. FIRE CODE 901.2 AND THE COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION 7. SINCE THIS PROJECT IS FOR FULLY SPRINKLERED MULTI-FAMILY STRUCTURES, THE ON-SITE HYDRANTS ARE INSTALLED A MINIMUM 10 FEET FROM THE STRUCTURE.
- EVERY BUILDING CONSTRUCTED SHALL BE ACCESSIBLE TO FIRE DEPARTMENT APPARATUS BY WAY OF ACCESS ROADWAYS, WITH AN ALL-WEATHER SURFACE OF NOT LESS THAN THE PRESCRIBED WIDTH. THE ROADWAY SHALL BE EXTENDED TO WITHIN 150 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS WHEN MEASURED BY AN UNOBSTRUCTED ROUTE AROUND THE EXTERIOR OF THE BUILDING.
- ACCESS AS NOTED ON THESE PLANS SHALL COMPLY WITH TITLE 21 (COUNTY OF LOS ANGELES SUBDIVISION CODE) AND SECTION 503 OF THE TITLE 32 (COUNTY OF LOS ANGELES FIRE CODE), WHICH REQUIRE ALL WEATHER ACCESS.
- MULTIPLE RESIDENTIAL UNITS HAVING UNITS NOT VISIBLE FROM THE STREET OR ROAD SHALL HAVE UNIT NUMBERS DISPLAYED IN GROUPS FOR ALL UNITS WITHIN EACH STRUCTURE. SUCH NUMBERS MAY BE GROUPOED ON THE WALL OF THE STRUCTURE OR MOUNTED ON A POST INDEPENDENT OF THE STRUCTURE AND SHALL BE POSITIONED TO BE PLAINLY VISIBLE FROM THE STREET OR ROAD AS REQUIRED BY FIRE CODE 505.3 AND IN ACCORDANCE WITH FIRE CODE 505.1.
- THE SECURITY GATE SHALL BE PROVIDED WITH AN APPROVED MEANS OF EMERGENCY OPERATION, AND SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES AND REPLACED OR REPAIRED WHEN DEFECTIVE. ELECTRIC GATE OPENERS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL525. 2 GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F2200. ALL LOCKING DEVICES SHALL COMPLY WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION 5, COMPLIANCE FOR INSTALLATION OF EMERGENCY ACCESS DEVICES.
- FOR GROUP R-3 MULTI-FAMILY DWELLINGS, FIRE HYDRANT SPACING SHALL BE 300 FEET. NO PORTION OF LOT FRONTAGE SHALL BE MORE THAN 200 FEET FROM A PUBLIC HYDRANT VIA VEHICULAR ACCESS. NO PORTION OF AP BUILDING SHALL BE MORE THAN 400 FEET FROM A PROPERLY SPACED PUBLIC HYDRANT VIA VEHICULAR ACCESS.
- THE REQUIRED FIRE FLOW AS PROVIDED BY LOS ANGELES COUNTY FIRE DEPARTMENT IS 2,125 GPM AT 20 PSI RESIDUAL PRESSURE FOR A DURATION OF 2 HOURS. 2 PUBLIC FIRE HYDRANTS FLOWING SIMULTANEOUSLY MAY BE USED TO ACHIEVE THE REQUIRED FIRE FLOW. FIRE CODE 507.3 AND APPENDIX B105.1.



CENTRAL AVENUE GATED ENTRY DETAIL
SCALE: 1" = 10'

NO.	DATE	REVISIONS
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URBAN RESOURCE
CONSULTING CIVIL ENGINEERS
23 HAVANE CAJON BLVD
IRVINE, CA 92614
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NANTUCKET TRACT, C/D
IRVINE, CA 92618
PHONE: 949-999-5715
FAX: 949-720-5415

VESTING TENTATIVE TRACT MAP NO. 78226
CONDITIONAL USE PERMIT-SITE PLAN
FIRE ACCESS DETAILS

CITY OF CARSON
COMMUNITY DEVELOPMENT DEPARTMENT

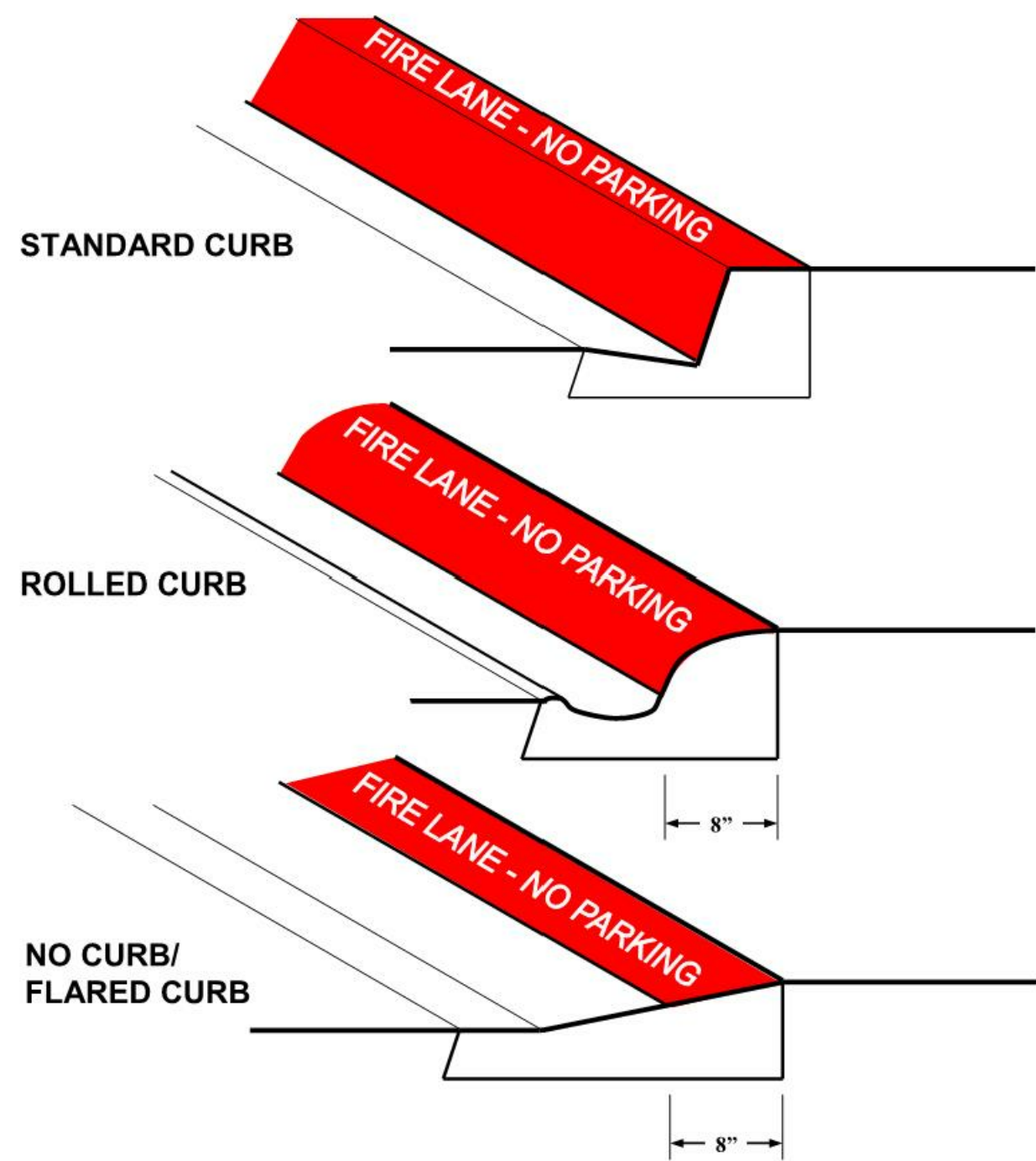
PLAN SET: J
DATE: 6-12-19
JOB NO. 316.698
SCALE: 1" = 10'

CONDITIONAL USE PERMIT
FILE CASE # **CUP 1040-18**

SHEET 11 OF 13

ATTACHMENT 9

Fire Lane Identification – Red Curbs



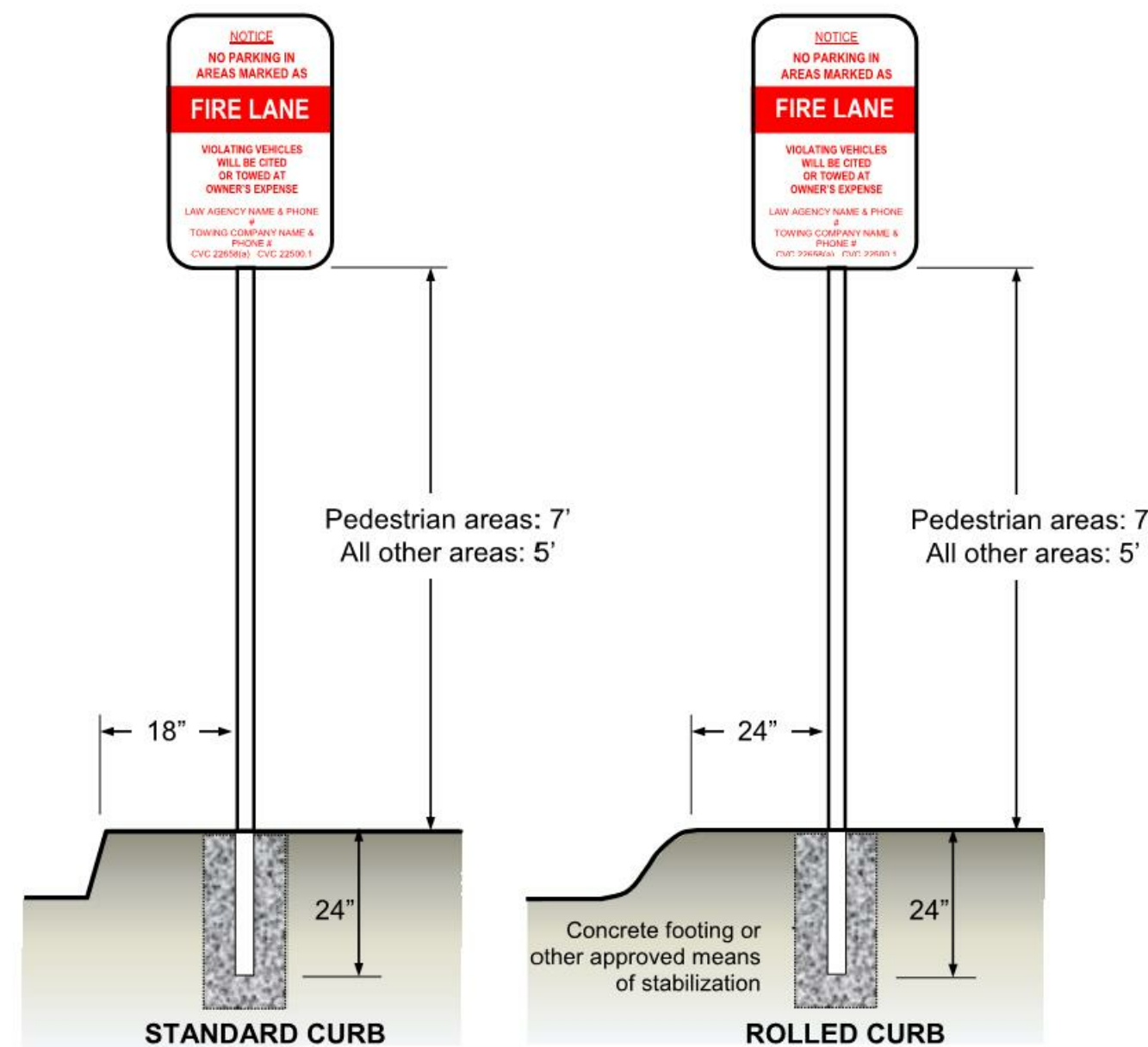
1. Fire lane entrance sign(s) shall also be provided per Attachment 10 or 11.
2. Curbs shall be painted OSHA safety red.
3. "FIRE LANE - NO PARKING" shall be painted on top of curb in 3" white lettering at a spacing of 30' on center or portion thereof.

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① RED CURBING DETAIL PER LACFD REQUIREMENTS N.T.S.

ATTACHMENT 14

Mounting Specifications for Fire Lane Entrance and No Parking Signs



Signs shall be mounted facing the direction of vehicular travel. Signs may be mounted on existing posts or buildings where the centerline of the sign is no more than 24" from the edge of the roadway. Depth of bury shall be a *minimum* of 24" and rebar, a concrete footing, or another method to prevent removal of the sign is recommended. Footings for signs located in the public right-of-way shall be per the local jurisdiction's requirements.

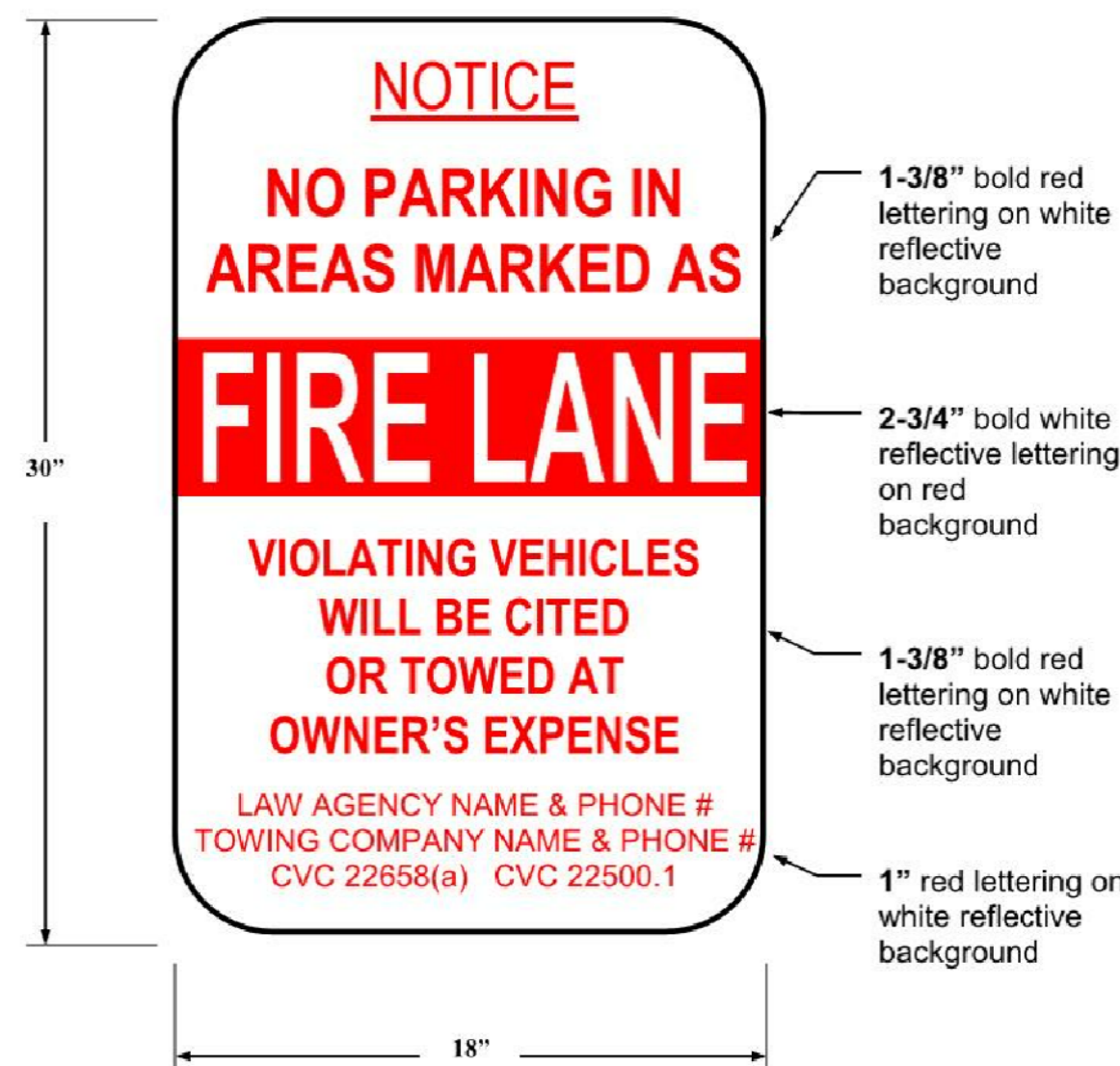
51

⑥ FIRE LANE SIGN MOUNTING DETAIL PER LACFD REQUIREMENTS N.T.S.

ATTACHMENT 10

Specifications for Fire Lane Entrance Signs

To be used only at vehicle entry points to areas that contain "Fire Lane—No Parking" signs or red curbs

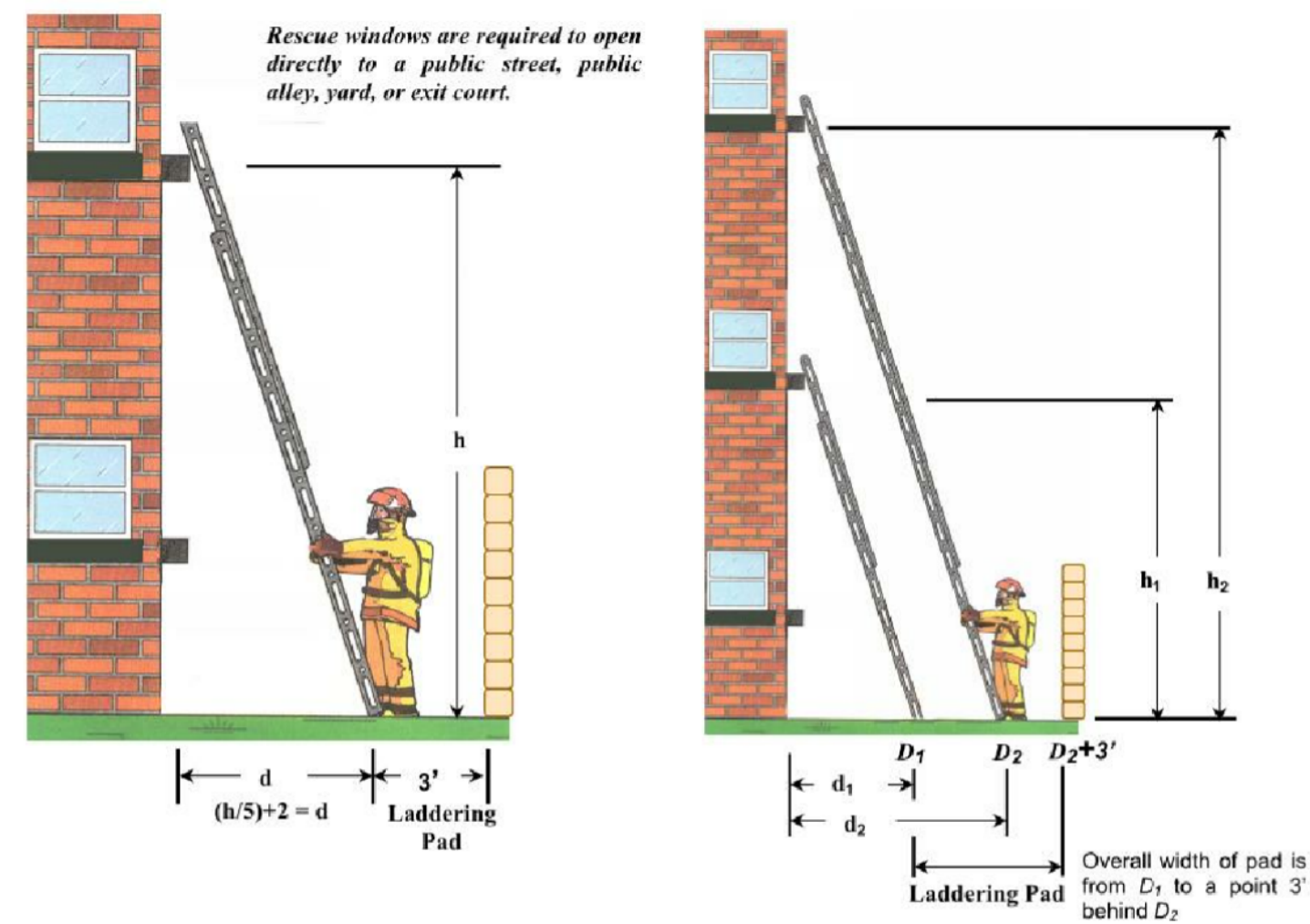


All sign and lettering dimensions shown are *minimums*. "Arial Narrow" font is used in sample above though other legible sans-serif fonts may be acceptable. This sign shall be posted at all vehicle entrances to areas marked with either red curbs or fire lane "No Parking" signs. Signs shall be securely mounted facing the direction of travel and clearly visible to oncoming traffic entering the designated area. Signs shall be made of durable material and installed per Attachments 13 and 14. Towing company contact information is required for all properties with a standing written agreement for services with a towing company per the California Vehicle Code.

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③ FIRE LANE ENTRANCE SIGN PER LACFD REQUIREMENTS N.T.S.

ATTACHMENT 5
Determination of Ladder Placement and Access Walkway Location



Placement of Ladders		Placement of Ladders		Placement of Ladders	
Sill Height (h)	Distance (d)	Sill Height (h)	Distance (d)	Sill Height (h)	Distance (d)
35"	9'-4"	25"	7'-0"	15"	5'-0"
34"	8'-10"	24"	6'-10"	14"	4'-10"
33"	8'-7"	23"	6'-7"	13"	4'-6"
32"	8'-5"	22"	6'-5"	12"	3'-10"
31"	8'-3"	21"	6'-3"	11"	3'-6"
30"	8'-0"	20"	6'-0"	10"	3'-2"
29"	7'-10"	19"	5'-10"	9"	2'-10"
28"	7'-8"	18"	5'-8"	8"	2'-8"
27"	7'-5"	17"	5'-5"	7"	1'-10"
26"	7'-2"	16"	5'-2"	<7"	1' to 2'

Rev. 1/1/16

TYPICAL BUILDING SECTION AND LADDERING DETAIL N.T.S.

ATTACHMENT 12

Specifications for Fire Lane No Parking Signs



All sign and lettering dimensions shown are *minimums*. "Arial Narrow" font is used in sample above though other legible sans-serif fonts may be acceptable. In areas where fire lane parking restrictions are enforced by the California Highway Patrol, "NO STOPPING—FIRE LANE" signs meeting Caltrans standards shall be used. Signs shall be securely mounted facing the direction of travel and clearly visible to oncoming traffic entering the designated area. Signs shall be made of durable material and installed per Attachments 13 and 14.

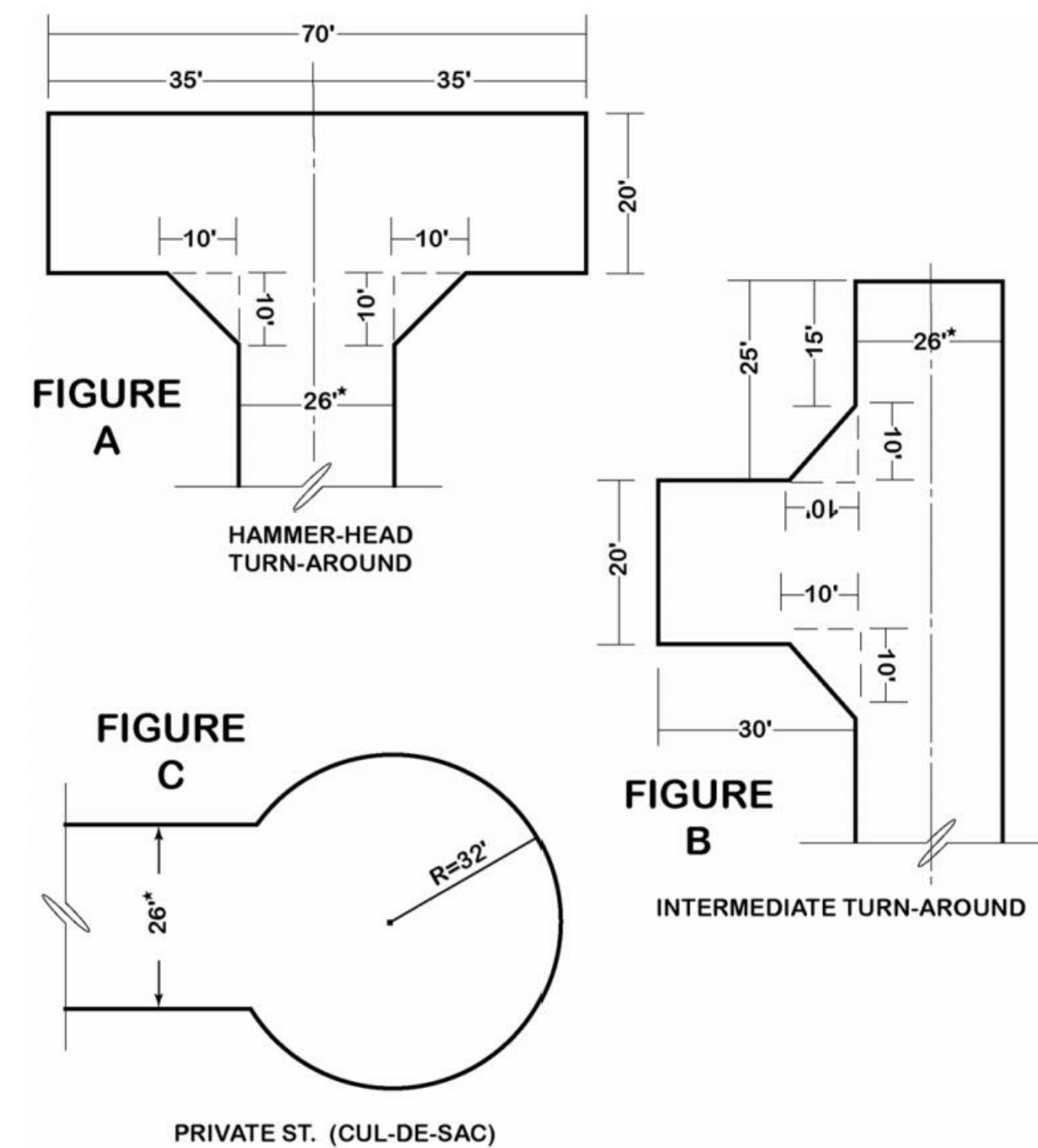
46

④ NO PARKING FIRE LANE SIGN PER LACFD REQUIREMENTS N.T.S.



COUNTY OF LOS ANGELES FIRE DEPARTMENT
FIRE PREVENTION DIVISION

FIRE APPARATUS TURNAROUND STANDARD PUMPER



* MAY BE REDUCED TO 20' FOR SINGLE FAMILY RESIDENCES

LACFD FIRE APPARATUS TURN AROUND STANDARD N.T.S.

ATTACHMENT 12b

Specifications for Alternative Fire Lane No Parking Signs



All sign and lettering dimensions shown are *minimums*. "Arial Narrow" font used is used in sample above though other legible sans-serif fonts may be acceptable. Signs shall be securely mounted facing the direction of travel and clearly visible to oncoming traffic entering the designated area. Signs shall be made of durable material and installed per Attachments 13 and 14.

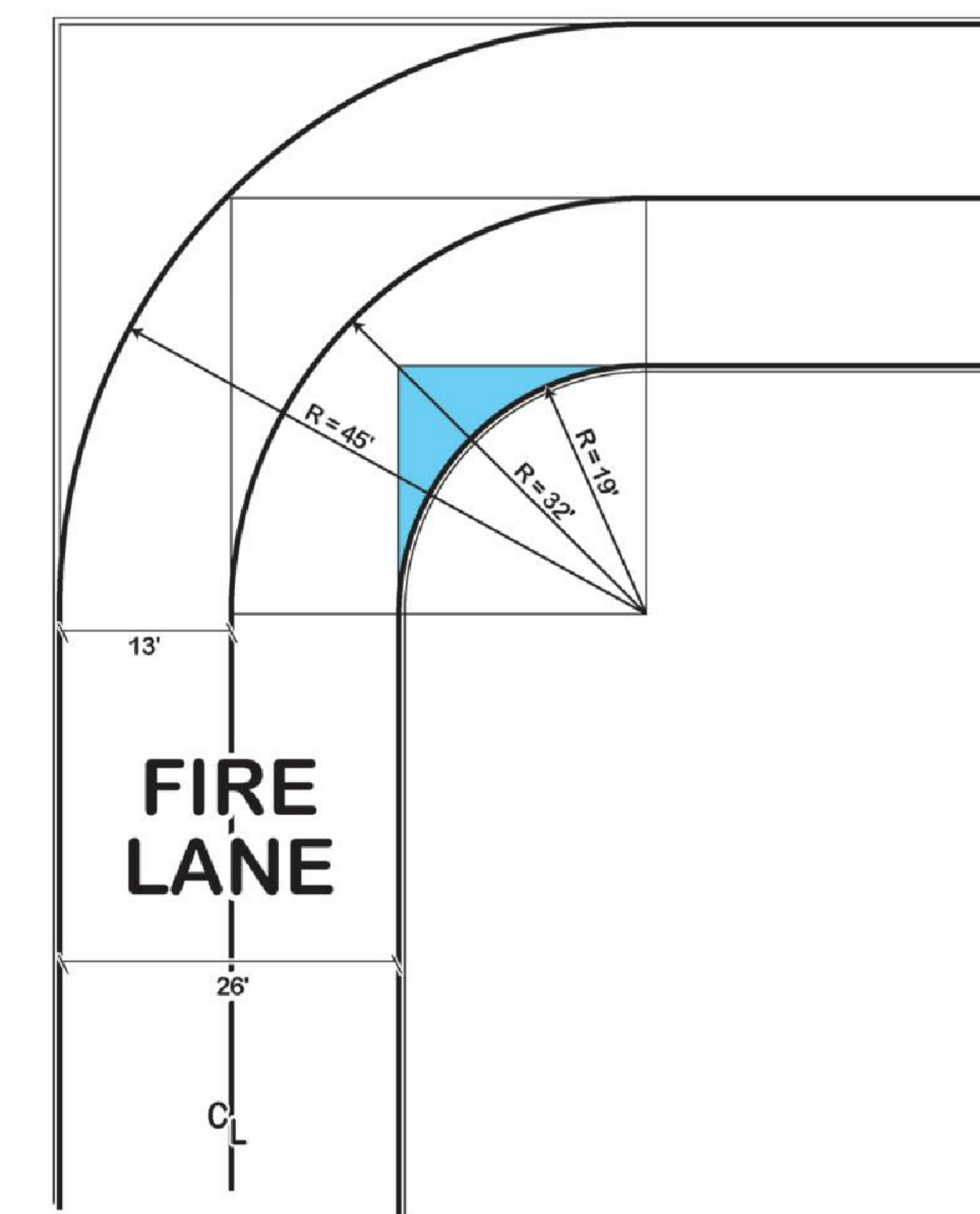
48

⑤ NO PARKING FIRE LANE SIGN PER LACFD REQUIREMENTS N.T.S.



COUNTY OF LOS ANGELES FIRE DEPARTMENT
FIRE PREVENTION DIVISION

FIRE APPARATUS ACCESS TURNING RADIUS PUMPER



LACFD FIRE APPARATUS TURNING RADIUS STANDARD N.T.S.

REVISIONS	
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URBAN RESOURCE CONSULTING CIVIL ENGINEERS
23 HAYNES CA 92028
PHONE: 949-727-9095
FAX: 949-727-9098

INTEGRAL COMMUNITIES
888 SAN GABRIEL AVENUE 100
NEWPORT BEACH, CA
PHONE: 949-999-5715
FAX: 949-720-3615

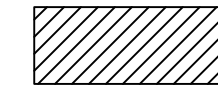
VESTING TENTATIVE TRACT MAP NO. 78226
CONDITIONAL USE PERMIT-SITE PLAN
FIRE ACCESS DETAILS
CITY OF CARSON
COMMUNITY DEVELOPMENT DEPARTMENT


PLAN SET: J
DATE: 6-12-19
JOB NO. 316.698
P: 316.698 CUP-SITE PLAN-98-CUP-09-12-FIRE ACCESS.dwg
PLOT DATE: Jun 12, 2019 - 7:45PM

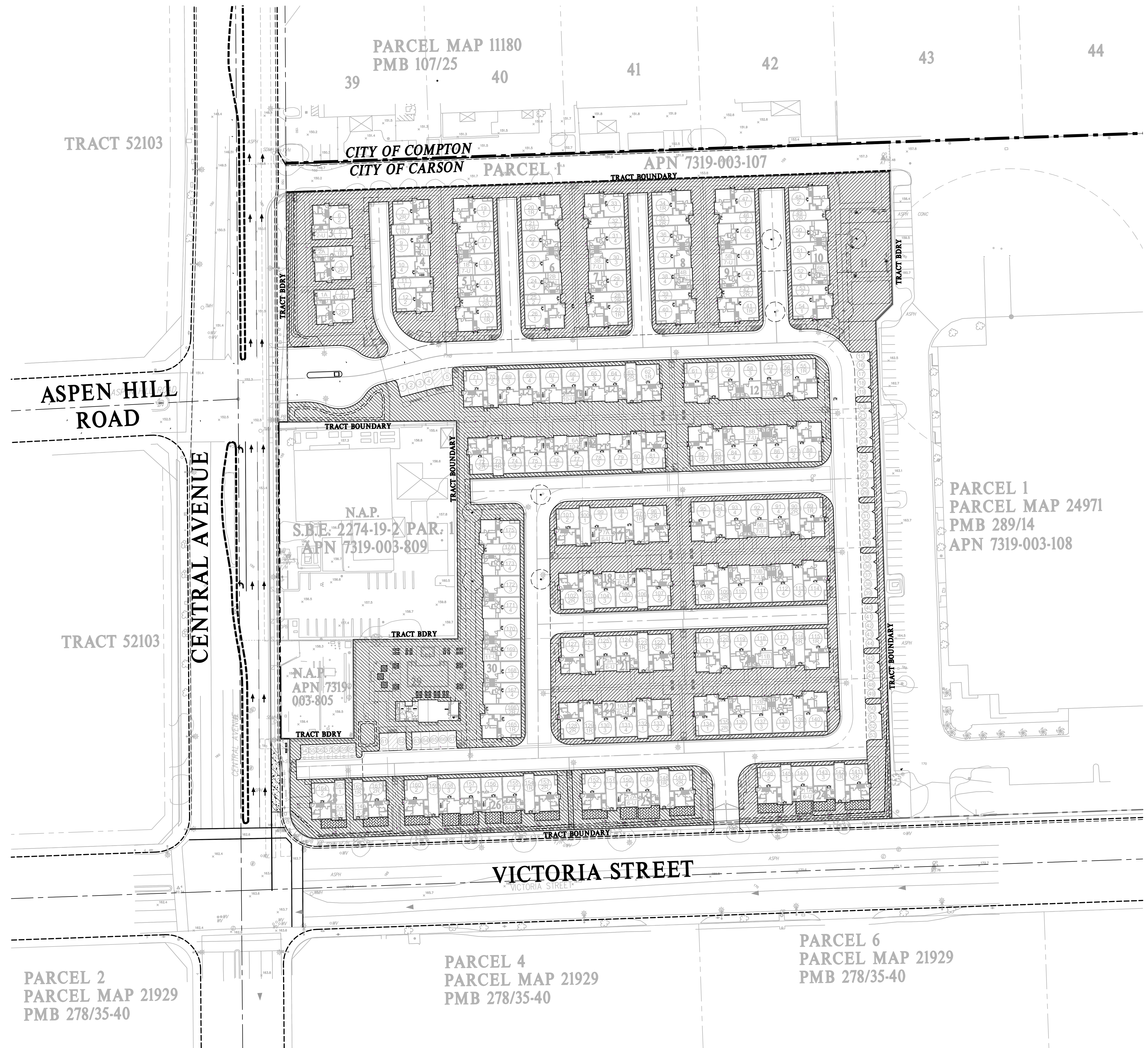
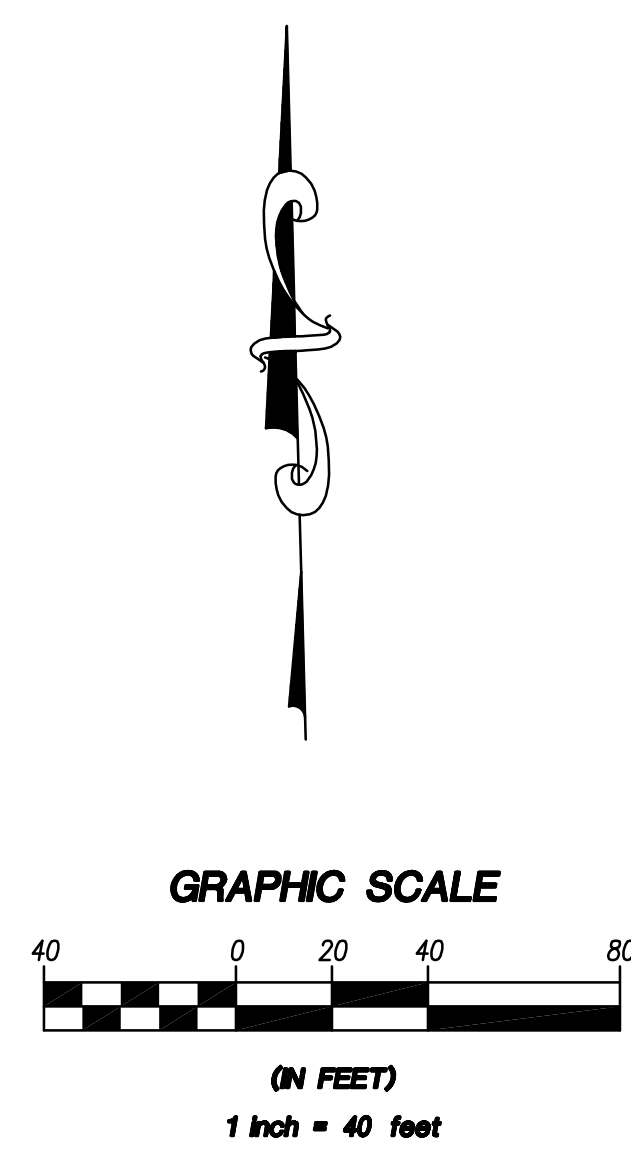
CONDITIONAL USE PERMIT
FILE CASE # CUP 1040-18

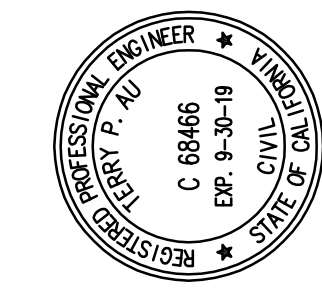
SHEET 12 OF 13

LEGEND

 EXTERIOR COMMON AREA OPEN SPACE
135,592 SF OR 3.11 ACRES

 PRIVATE EXTERIOR PATIO OPEN SPACE
3,523 SF OR 0.08 ACRES



	
URBAN RESOURCE CONSULTING CIVIL ENGINEERS 23 HAVANE CA 92026 PHONE: 949-999-5715 FAX: 949-727-9095	
INTEGRAL COMMUNITIES 888 SAN CLAYTON AVE 100 NEWPORT BEACH, CA PHONE: 949-999-5715 FAX: 949-727-3015	
VESTING TENTATIVE TRACT MAP NO. 78226 CONDITIONAL USE PERMIT-SITE PLAN EXTERIOR OPEN SPACE EXHIBIT CITY OF CARSON COMMUNITY DEVELOPMENT DEPARTMENT	
PLAN SET: J DATE: 6-12-19	P:\16-098-CUP-SITE PLAN\98-CUP-15-OPEN SPACE CALCS.dwg PLOT DATE: Jun 12, 2019 - 7:46PM
JOB NO. 916.698	PLAN CONTROL: INTEGRAL

CONDITIONAL USE PERMIT
 FILE CASE # **CUP 1040-18**

SHEET 13 OF 13

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